

RENOVATIONS AND ADDITION - 42 PARK STREET, AYER MA 01432

PROPERTY INFORMATION

ADDRESS:	42 PARK STREET, AYER MA 01432
PARCEL ID:	019/026.0-0000-0017.0
AYER ASSESSOR MAP:	26-17
EXISTING CLASS:	TWO-FAMILY
EXISTING SQ. FT.:	BASEMENT = 782 SQ.FT. / 1ST FLOOR = 782 SQ.FT. / 2ND FLOOR = 782 SQ.FT.
LOT AREA:	21,000 SQ. FT. / 0.821 ACRES
YEAR BUILT:	1900

PROJECT SCOPE

1. GUT AND RENOVATE EXISTING TWO-STORY WOOD FRAMED HOUSE WITH NEW EXTERIOR ENVELOPE
2. BUILD NEW THREE-STORY ADDITION WITH BASEMENT
3. FIRST FLOOR WILL BE DESIGNATED FOR COMMERCIAL (PERSONAL BUSINESS0 PLUS STAIRS & SUPPORT
4. SECOND FLOOR WILL BE DESIGNATED FOR TWO RESIDENTIAL (2-BEDROOM) APARTMENTS PLUS STAIRS
5. THIRD FLOOR WILL BE DESIGNATED FOR A RESIDENTIAL (3-BEDROOM) APARTMENT
6. SITE IMPROVEMENTS WILL INCLUDE MINOR RE-GRADING, PARKING, DRIVE, SIDEWALKS, LANDSCAPE, LIGHTING
7. NEW ELECTRICAL DISTRIBUTION, FIRE SPRINKLERS & FIRE ALARM, HEAT PUMP HEATING AND COOLING
8. MAINTAIN EXISTING SITE ACCESS AND CURB CUTS

ZONING ANALYSIS

ZONING DISTRICT:	(GB) GENERAL BUSINESS
PERMITTED USE:	SEC 1.6 - APARTMENTS ABOVE GROUND FLOOR COMMERCIAL SEC 5.5 PERSONAL SERVICE ESTABLISHMENT

FLOOR AREA INFORMATION

BASEMENT	TOTAL = 1,657 SQ. FT.
- COMMERCIAL AREA:	568 SQ. FT.
- RESIDENTIAL AREA:	873 SQ FT.
- CIRCULATION:	216 SQ. FT.
FIRST FLOOR	TOTAL = 1,898 SQ. FT.
- COMMERCIAL SPACE:	1,428 SQ. FT.
- CIRCULATION & SUPPORT:	470 SQ FT.
SECOND FLOOR	TOTAL = 1,870 SQ. FT.
- APARTMENT 1:	797 SQ. FT.
- APARTMENT 2:	816 SQ FT.
- CIRCULATION:	257 SQ. FT.
THIRD FLOOR	TOTAL = 1,436 SQ. FT.
- APARTMENT 3:	1,220 SQ. FT.
- CIRCULATION:	216 SQ. FT.
TOTAL GROSS SQ. FT.	7,154 GROSS SF. FT.

MAX. FAR ALLOWED = 1.25	FAR PROVIDED = 0.34
LOT AREA:	21,000 SQ. FT.
TOTAL BUILDING AREA GSF:	7,154 GSF
BUILDING FOOTPRINT GSF:	2,049 SQ. FT.
PARKING & DRIVEWAY AREA:	6,261 SQ. FT.

MIN. OPEN SPACE = 20%	PROVIDED = 37%
MAX. BLDG COVERAGE = 60%	PROVIDED = 34%
MIN. LOT FRONTAGE = 100 FT.	PROVIDED = 118.8 FT.
MAX. BLDG HEIGHT = 35FT/3-STORY	PROVIDED = 33FT/3-STORY

MIN. FRONT YARD SETBACK = 30 FT.	PARTIAL PROVISION *
MIN. SIDE YARD SETBACK = 25 FT.	PROVIDED = 25 FT.
MIN. REAR YARD SETBACK = 20FT.	PROVIDED = 20 FT.

** EXISTING HOUSE RESIDES WITHIN FRONT YARD SETBACK - AS OF RIGHT. NEW ADDITION IS IN COMPLIANCE**

OFF STREET PARKING

- MULTI-FAMILY DWELLING REQUIREMENT:
- 2 SPACES PER UNIT WITH 2 OR MORE BEDROOMS
 - PROVIDED: 6 SPACES (9FT X 18FT)
 - PROVIDED: 1 VISITOR SPACE (9FT X 18FT)

- PROFESSIONAL BUSINESS REQUIREMENT:
- 1 SPACE PER 400 GROSS SQ. FT.
 - PROVIDED: 4 SPACES (9FT X 18FT)

- ADDITIONAL PARKING:
- PROVIDED 1 HANDICAP SPACE (9FT X 22FT)
 - PROVIDED 1 DROP-OFF/LOADING (9FT X 22FT)

- BICYCLE PARKING / STORAGE REQUIREMENT:
- MULTI-FAMILY: 1 PER 2 UNITS
 - BUSINESS: 1 PER 10 PARKING SPACES
 - PROVIDED: 4 SPACES

- LANDSCAPE - SEE DRAWINGS A.0 & L.1
- EXTERIOR LIGHTING - SEE DRAWINGS A.0 & L.1

- INTERIOR ACCESS DRIVE
- USE EXISTING CURB CUTS
 - 20FT WIDE, TWO WAY DRIVE
 - PERCENT OF LOT FRONTAGE ALLOWED = 25%
 - PERCENT OF LOT FRONTAGE USED = 22%

PROJECT LOCATION MAP



EXISTING FRONT FACADE



EXISTING FRONT FACADE

DRAWING LIST

- G.1

COVER SHEET
- G.2

GENERAL NOTES & SPECIFICATIONS
- A.0

ARCHITECTURAL SITE PLAN
- A.L

LANDSCAPE SITE PLAN
- A.1

BASEMENT & CRAWL SPACE FLOOR PLANS
- A.2

FIRST FLOOR PLAN
- A.3

SECOND FLOOR PLAN
- A.4

ROOF PLAN
- A.5

EXTERIOR ELEVATIONS
- A.6

EXTERIOR ELEVATIONS
- A.6A

BUILDING SECTIONS
- A.7

DOOR & WINDOW SCHEDULES
- A.8

MISCELLANEOUS DETAILS
- A.9

DECK & BALCONY DETAILS
- S.1

FOUNDATION & 1ST FL FRAMING PLANS
- S.2

2ND & 3RD FL FRAMING PLANS
- S.3

ROOF & MISC. FRAMING PLANS
- S.4

STRUCTURAL DETAILS & SPECIFICATIONS
- S.5

STRUCTURAL DETAILS & SPECIFICATIONS
- S.6

STRUCTURAL DETAILS & SPECIFICATIONS
- SL.1

PHOTOMETRIC LAYOUT & CALCULATIONS
- E.0

ELEC. SITE & BASEMENT PLANS
- E.1

ELEC. 1ST FLOOR PLANS
- E.2

ELEC. 2ND & 3RD FLOOR PLANS
- P.1

1ST FLR SUPPLY & WASTE PIPING PLANS
- P.2

2ND & 3RD FLR SUPPLY & WASTE PIPING PLANS
- H.1

HVAC LAYOUT PLANS
- H.2

HVAC SPECIFICATIONS & DETAILS
- LS.1

LIFE SAFETY & EGRESS PLANS
- FP.1

FIRE PROTECTION PLANS
- FP.2

FIRE PROTECTION NOTES & DETAILS

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STAMP

01	PLANS & DESIGN CHANGES	9.21.23
NO.	REVISION	DATE

Drawing Title

COVER
SHEET

Scale	AS NOTED
Project No.	AG-001
Drawn By	G M G
Date	JUNE 15, 2023

Sheet No.

G.1

SPECIFICATIONS

HEATING/COOLING SYSTEM:	1. MITSUBISHI OR EQUAL IN–LINE DUCTED HEAT PUMP SYSTEM 2. COMPRESSOR SIZED 3. 4 HEADS. 4. HSPF OF 12 OR GREATER 5. SEER OF 20 OR GREATER
HOT WATER SYSTEM:	ELECTRIC DOMESTIC HOT WATER SYSTEM – INSTANTANEOUS SYSTEM EF OF .95 OR HIGHER
ERV SYSTEM:	PROVIDE ENERGY RECOVERY SYSTEM (ERV) BYPANASONIC FV04VE1, VENMAR OR EQUIVALENTCAPABLE OF MEETING VENTILATION CODE 50–80 CFM THAT MEETS THE2012 IECC STANDARDS FOR EFFICACY
PASSIVE RADON SYSTEM:	PROVIDE A RADON RESISTANT CONSTRUCTION TECHNIQUES INCLUDING A PASSIVE SYSTEM WHICH FROM THE PERFORATED PIPE UNDER THE SLAB, UP THROUGH SLAB,AND HOUSE, TERMINATING ABOVE THE ROOF WITH AN ELECTRICAL OUTLET IN THE ATTIC FOR INSTALLING A FAN, MAKING IT AN ACTIVE SYSTEM, IF THERE IS A HIGH READING MEASURED.ASTM E1465 PRACTICE FOR RADON CONTROL OPTIONS
PLUMBING:	WATER SENSE (EPA) FOR ALL INTERIOR PLUMBING DEVICES; – SHOWERHEAD – TOILET – LAVATORY FAUCET
APPLIANCES:	USE ENERGY STAR APPLIANCES USE ELECTRIC RANGE AND EXHAUST RANGE TO EXTERIOR




PROVIDE HARD WIRED ELECTRIFIED SMOKE DETECTORS AS FOLLOWS:

- ON EVERY HABITABLE LEVEL OF THE RESIDENCE
- ON THE CEILING OUTSIDE OF EACH SEPARATE SLEEPING AREA
- ON THE CEILING AT THE BASE OF EACH STAIRWAY
- IF LOCATED WITHIN 20 FEET OF A KITCHEN OR BATHROOM CONTAINING A BATHTUB OR SHOWER)
- THE DETECTOR MUST USE PHOTOELECTRIC TECHNOLOGIES
- IF LOCATED MORE THAN 20 FEET FROM A KITCHEN OR BATHROOM (CONTAINING A BATHTUB OR SHOWER), THE DETECTOR MUST UTILIZE EITHER (A) A DUAL DETECTOR (CONTAINING BOTH IONIZATION AND PHOTOELECTRIC TECHNOLOGIES) OR (B) TWO SEPARATE SENSORS, ONE IONIZATION AND ONE PHOTOELECTRIC.

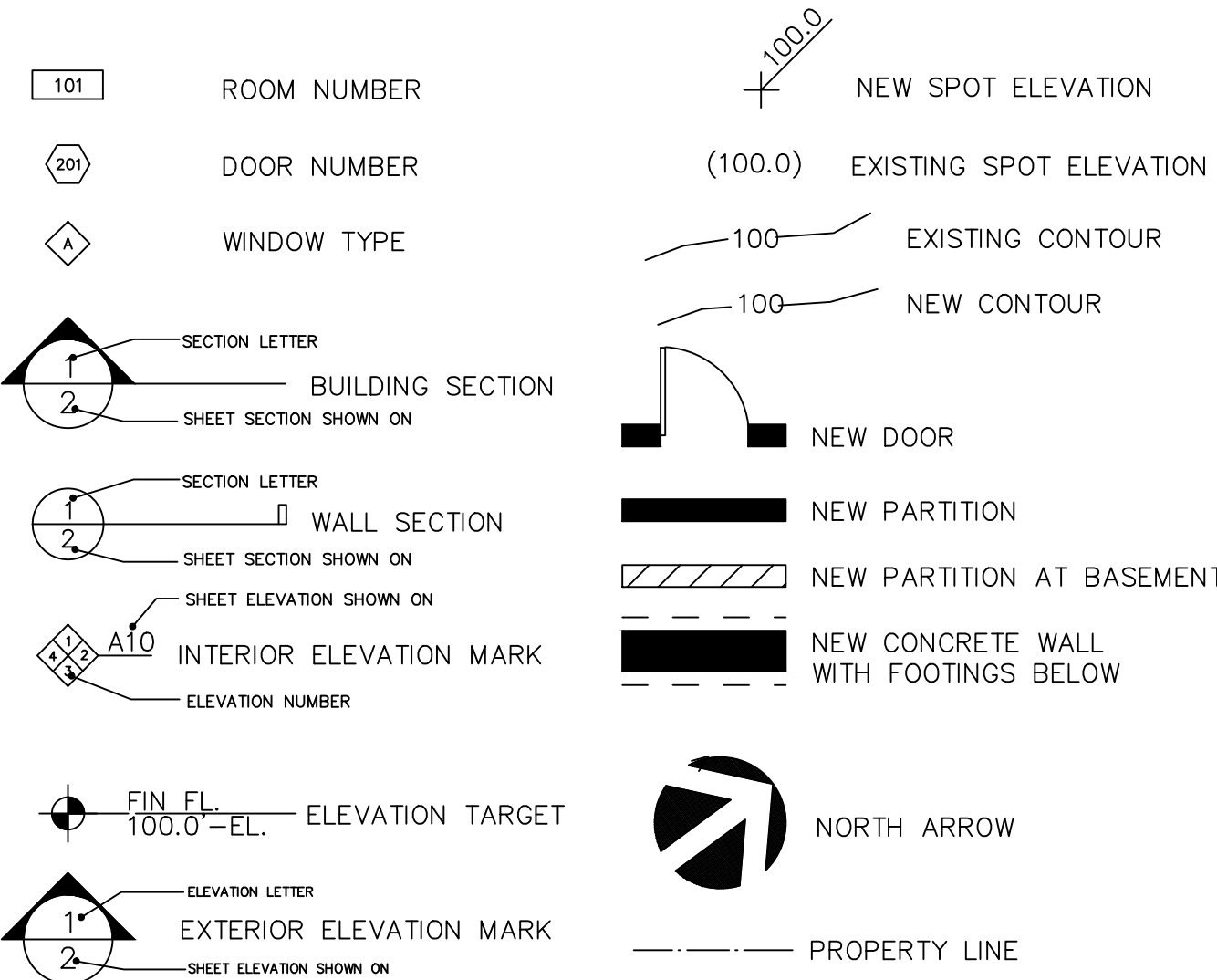
PROVIDE HARD WIRED ELECTRIFIED SMOKE DETECTORS AS FOLLOWS:

- ON EACH AND EVERY LEVEL OF THE RESIDENCE, INCLUDING HABITABLE PORTIONS OF BASEMENTS AND ATTICS AND MUST BE LOCATED WITHIN 10 FEET OF EACH BEDROOM DOOR
- COMBINATION DETECTORS (I.E. UNITS CONTAINING PHOTOELECTRIC SMOKE AND CARBON MONOXIDE DETECTION CAPABILITIES) MAY BE USED IF THE DETECTOR IS WITHIN 20 FEET OF A KITCHEN OR BATHROOM (CONTAINING A BATHTUB OR SHOWER)
- COMBINATION IONIZATION SMOKE AND CARBON MONOXIDE DETECTORS MAY BE USED IF THE DETECTOR IS MORE THAN 20 FEET FROM A KITCHEN OR BATHROOM (CONTAINING A BATHTUB OR SHOWER)
- THE DETECTORS MAY BE BATTERY POWERED, PLUG IN WITH BATTERY BACKUP, HARDWIRED WITH BATTERY BACKUP, OR SYSTEM TYPE

LEGEND:

	= SMOKE DETECTOR
	= CARBON MONOXIDE DETECTOR
	= HEAT DETECTOR

SYMBOL LEGEND



INSULATION VALUES

This project is a renovation and addition to an existing house. It shall be built to meet the requirements of IECC-2021: International Energy Conservation Code, 2021 Edition.

The building envelope shall be designed and constructed with a continuous air barrier to control leakage into, onto or out of the conditioned spaces. The continuous air barrier shall have the following characteristic:

- Materials used shall have an air permeance not to exceed 0.004 cfm/sqft under a pressure differential of 0.3 in. water column (1.57 psf) (75Pa) when tested in accordance with ASTM E 2178 and shall be taped or sealed in accordance with the manufacturer's instructions.
- Barrier materials shall be maintainable, or if inaccessible, shall meet durability requirements for the service life of the envelope assembly.
- The air barrier material of the envelope assembly shall be joined and sealed in a flexible manner to the air barrier material of adjacent assemblies, to allow for the relative movement of assemblies due to thermal and moisture variations and creep. Connections shall be made between:
 - Foundation and walls.
 - Walls and windows or doors.
 - Different wall systems.
- All penetrations of the air barrier and paths of air infiltration / exfiltration shall be made air tight.
- Minimum Insulation Values Shall be as follows:

Provide Icynene Open-cell spray foam insulation to meet minimum insulation values specified below or fiberglass batt insulation equivalent.

Roof Joists	High Density Spray Foam	R-49
Ceiling Joists	9 ¼" fiberglass batt insulation	R-38
Exterior Walls	5½" fiberglass batt insulation	R-20
Foundation	High Density Spray Foam	R-30

GENERAL NOTES

- Comply with IRC 2021, IBC 2021 AND Massachusetts Amendments - code requirements.
- Comply with NFPA Manual for House Framing, NFPA Recommended Nailing Schedule, and NFPA National Design Specifications for Wood Construction.
- Comply with APA Design and Construction Guide, Residential and Commercial Construction.
- NO work shall commence without receipt of appropriate building permits and approvals.
- Coordinate all earthwork and excavation with existing sewer, gas, water, electrical and telecommunications lines in the area.
- Provide nailers, blocking and grounds where required. Set work plumb, level and accurately cut.
- Comply with manufacturer's requirements for treated materials.
- Install continuous galvanized sheet metal termite and rodent shield between foundation and sill plates as required. Provide in accordance with 780 CMR 120.F (Rodent Proofing)
- All foundations to go down to a minimum of 48" below grade. All perimeter footings are typically 12"D x 24" W and shall be keyed to concrete walls. Concrete shall have a compressive strength of 3000 psi.
- Foundation walls shall be 8" wide and have (2) #4 reinforcing rods, top and bottom. Concrete to be 3000 psi.
- The bearing capacity of the soil must be minimum of 5.0 KSF. Soil bearing conditions shall be approved by engineer and/or building inspector. Remove all organic material from foundation or slab area.
- Concrete slab shall have a compressive strength of 3000 psi with thickness shown on plans for required area. Slabs shall have 6x6, #10/10 WWM and shall have a steel trowel finish.
- Provide minimum 4" to 6" crushed stone over structural compacted fill below all foundations and concrete slabs.
- Install 6 mil polyethylene vapor barrier beneath concrete slabs. Lap all seams and run up walls minimum of 9" before pouring slab.
- Install bituminous foundation coating below grade on foundation walls and footings.
- Place perforated drain pipe along perimeter of new steps and landings.
- Top of foundation wall shall be a minimum of 8" above grade
- Follow all engineered lumber manufacturer's specifications.
- Provide 0.32 gage aluminum sidewall step flashing and drip edge.
- Walls and ceiling separating the basement from the living spaces above shall have a one hour fire resistive rating. Provide 1 layer of 5 / 8" type "X" gypsum wall board.
- Provide cementitious backer board at all tub and shower surrounds and floors. Provide "green board" in kitchen, bathrooms and areas of potential moisture.
- The General Contractor shall guarantee all workmanship and materials for a period of one year. The contractor shall be responsible for repairing and/or replacing his own defective work as well as pay all costs incidental thereto including damage to other work, furnishings and equipment.
- Drawings are not to be scaled. All work shall be laid out by dimensions. Any deviations shall be brought to the attention of the owner immediately. All deviations shall be corrected by the contractor before commencing or continuing with the work
- Construction shall be performed in such a manner to protect workers and general public from injury and adjacent property from damage. Perform all work in accordance with the project specifications. drawings are the property of the Design Professional that prepared them and shall not be copied or duplicated in any manner.
- The entire electrical installation shall be installed in accordance with MA and NEC codes, rules and regulations. This work shall be performed by a licensed electrician.
- Contractors shall coordinate all electrical equipment requirements with the manufacturer's data. Perform all work in accordance with the project's specifications.
- All plumbing work shall be performed by a licensed plumber and shall conform to MA and NFPA codes, rules and regulations.
- Plumbing vent sizes and locations shall determined by the plumbing contractor. Provide stop valves in all pipes to fixtures ahead of the operating levers or faucets.
- HVAC system shall be a complete design-build by the HVAC contractor. HVAC Contractor shall provide all required calculations and permits. All HVAC installation shall meet MA energy code requirements.
- General contractor shall be responsible for all subcontractors and shall coordinate and schedule their work.



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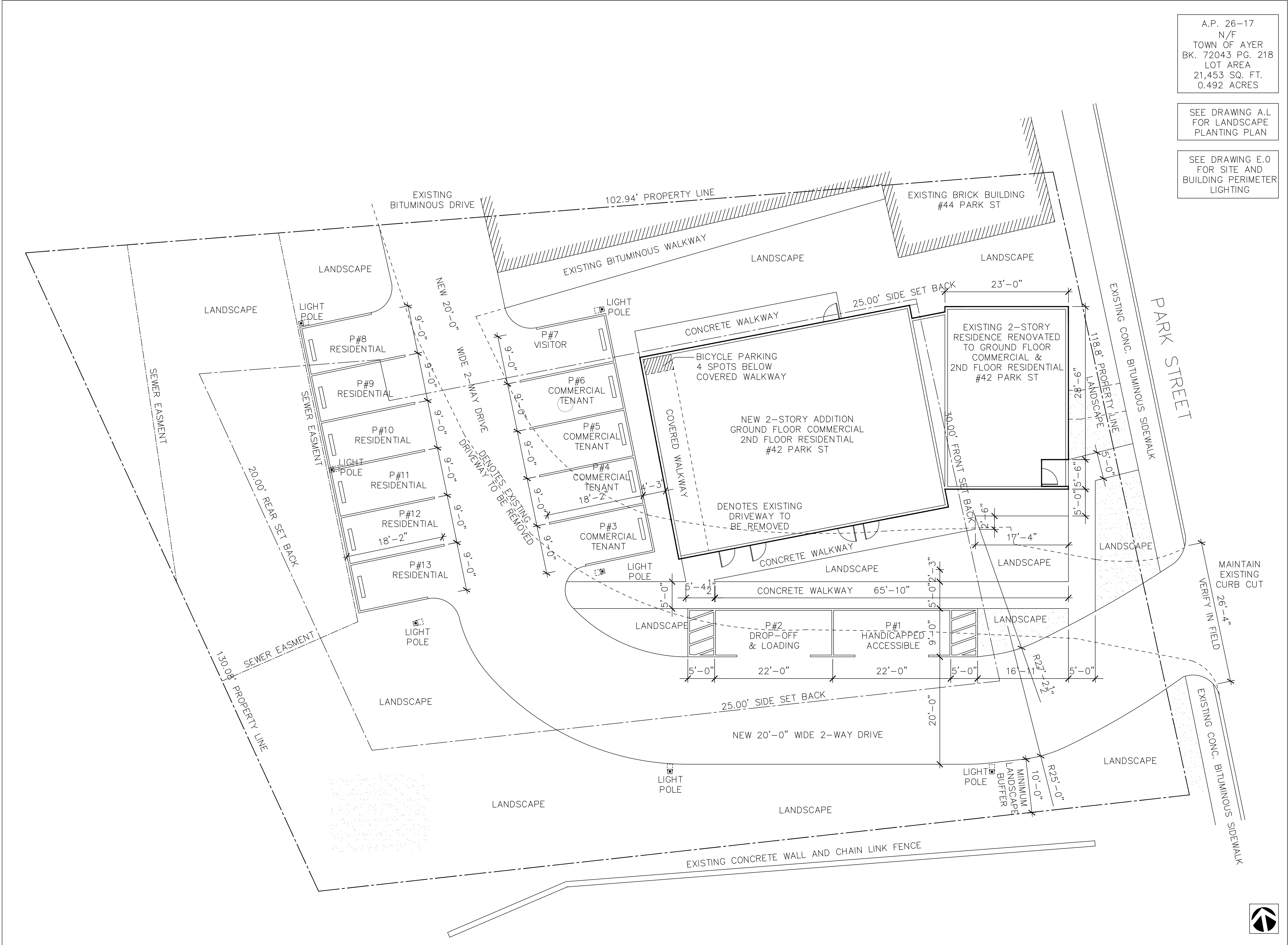
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GENERAL NOTES & SPECIFICATIONS

Scale	AS NOTED
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Sheet No.

G.2



A.P. 26-17
N/F
TOWN OF AYER
BK. 72043 PG. 218
LOT AREA
21,453 SQ. FT.
0.492 ACRES

SEE DRAWING A.L
FOR LANDSCAPE
PLANTING PLAN

SEE DRAWING E.O
FOR SITE AND
BUILDING PERIMETER
LIGHTING



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**ARCHITECTURAL
SITE PLAN**

Scale	1/4" = 1'-0"
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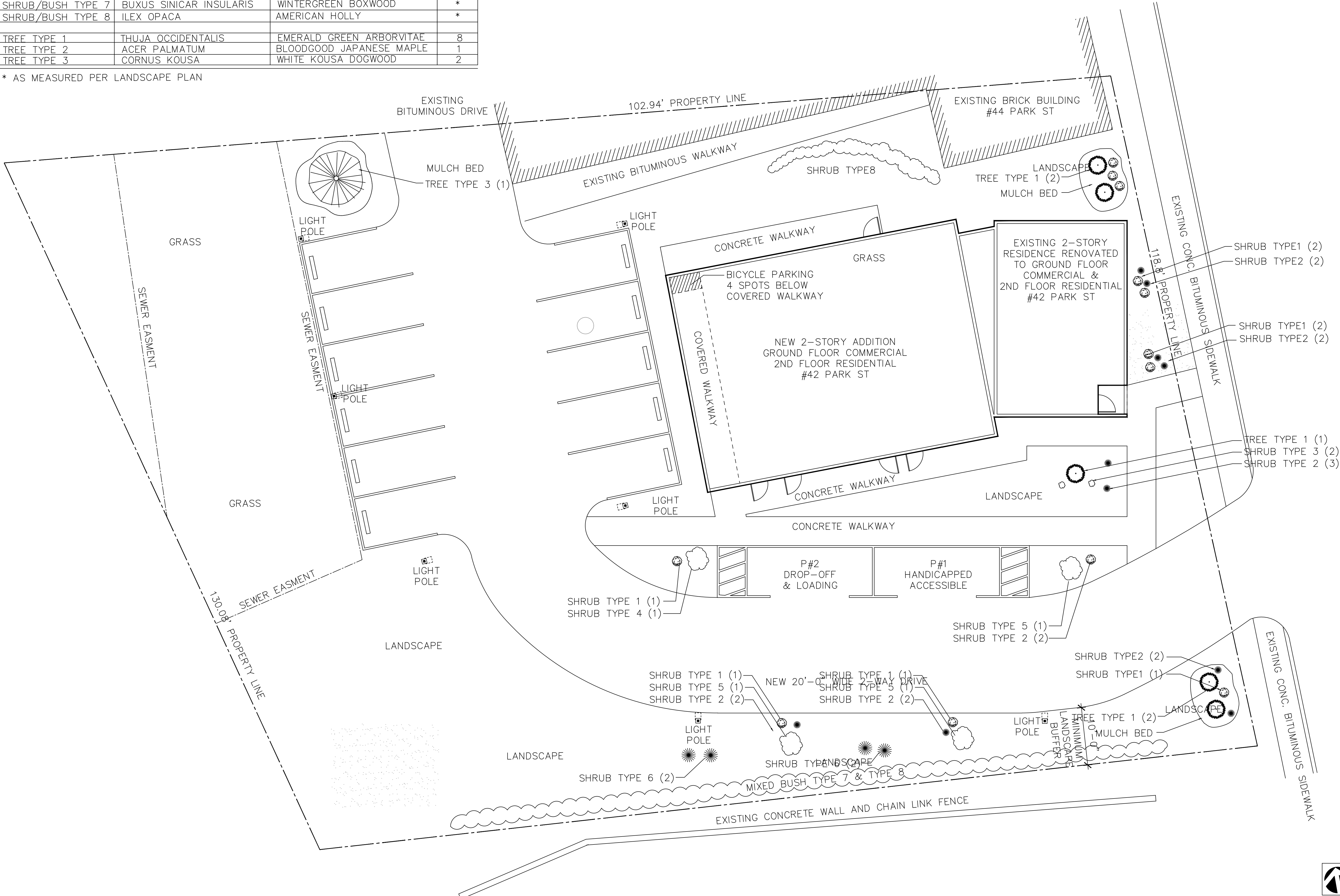
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A.0

LANDSCAPE PLANT LIST			COUNT
SHRUB/BUSH TYPE 1	LIGUSTRUM SINENSE	SUNSHINE LIGUSTRUM	22
SHRUB/BUSH TYPE 2	LIRIOPE MUSCARI	VARIGATED LIRIOPE PLANT	27
SHRUB/BUSH TYPE 3	JUNIPERUS SQUAMATA	BLUE STAR JUNIPER	5
SHRUB/BUSH TYPE 4	RHODODENDRON	DELAWARE WHITE AZALEA	3
SHRUB/BUSH TYPE 5	FORSYTHIA X INTERMEDIA	LYNWOD GOLD FORSYNTHIA	6
SHRUB/BUSH TYPE 6	SALIX INTEGR	TRI-COLOR DAPPLED WILLOW	4
SHRUB/BUSH TYPE 7	BUXUS SINICAR INSULARIS	WINTERGREEN BOXWOOD	*
SHRUB/BUSH TYPE 8	ILEX OPACA	AMERICAN HOLLY	*
TREE TYPE 1	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	8
TREE TYPE 2	ACER PALMATUM	BLOODGOOD JAPANESE MAPLE	1
TREE TYPE 3	CORNUS KOUSA	WHITE KOUSA DOGWOOD	2

* AS MEASURED PER LANDSCAPE PLAN



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LOT AREA
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0.492 ACRES

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**LANDSCAPE SITE
PLAN**

Scale	1/4" = 1'-0"
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Sheet No.

A.L

BASEMENT
675 SF
CRAWL SPACE
1,532 SF

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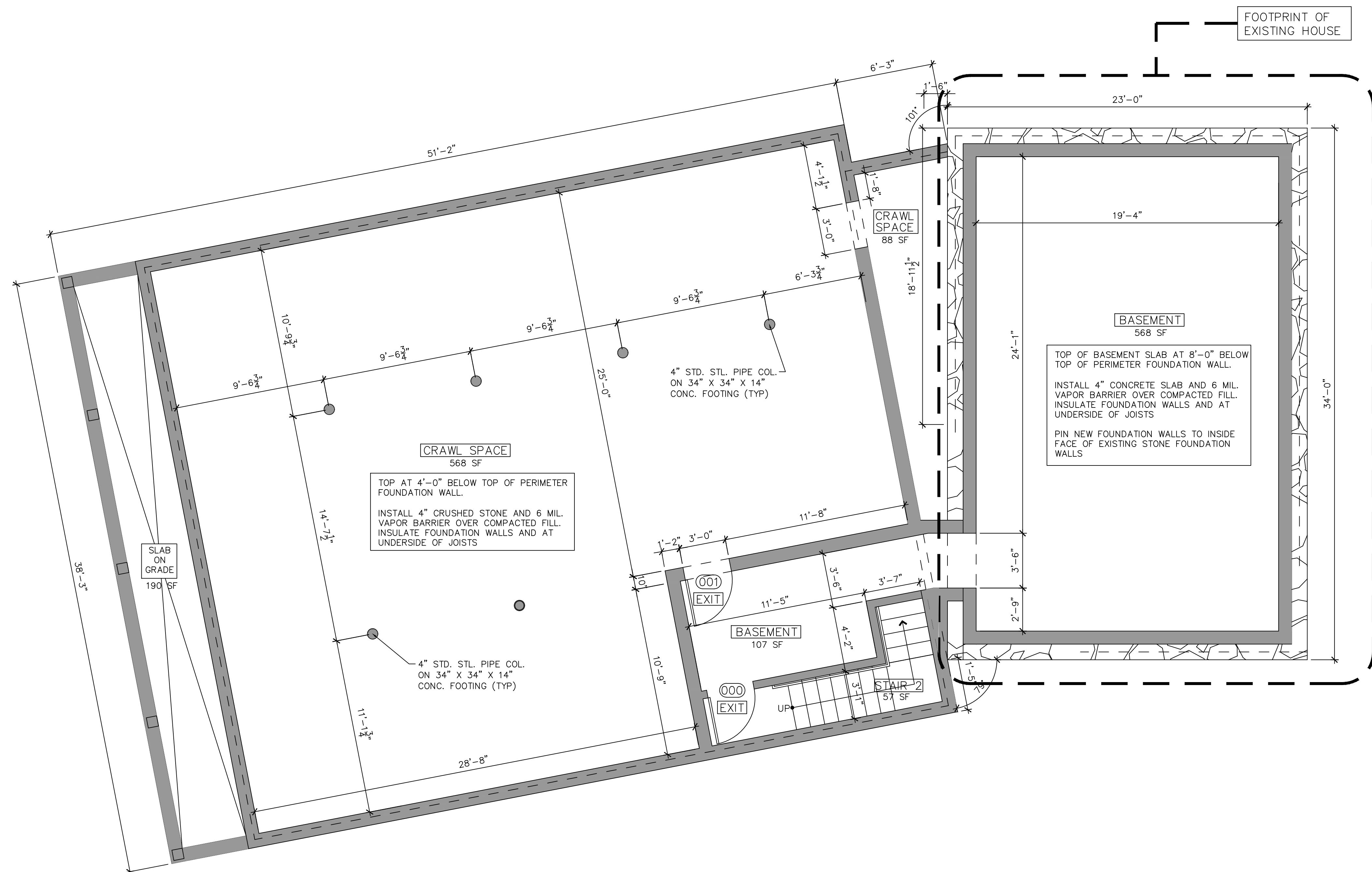
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BASEMENT & CRAWL SPACE FLOOR PLANS

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Sheet No.

A.1



1 - TYPICAL EXTERIOR WALL CONSTRUCTION

- EXISTING STONE MASONRY FOUNDATION TO REMAIN. RE-POINT AND SEAL AS REQUIRED
- CUT NEW WINDOW OPENINGS PER PLANS. INSTALL WATERPROOFING AND SEALANT
- PROVIDE EXPANDABLE FOAM INSULATION AT ALL JOINTS AND TIGHT LOCATIONS.
- PROVIDE 6 MIL. POLY VAPOR BARRIER ON INTERIOR FACE OF STUDS (USE MANUFACTURER RECOMMENDED TAPE AT ALL JOINTS) WITH 1/2" GYPSUM WALL BOARD.

2 - TYPICAL INTERIOR WALL CONSTRUCTION

- 1/2" GYPSUM WALL BOARD OVER WALL FRAMING SYSTEM.
- MECHANICAL ROOM SHALL BE SEPARATED FROM ALL HABITABLE SPACES BY NOT LESS THAN 5/8" TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT GYPSUM WALLBOARD.

3 - TYPICAL CEILING CONSTRUCTION

- 1/2" GYPSUM WALL BOARD OVER 1x3 STRAPPING @ 16" O.C. OVER CEILING JOISTS SYSTEM ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT GYPSUM WALL BOARD. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" GYPSUM WALL BOARD OR EQUIVALENT.

4 - PLAN NOTES

- INSTALL 8MIL. LVT FLOORING THROUGHOUT FLOOR EXCEPT WHERE INDICATED BELOW OR ON THE PLANS (STYLE & COLOR TO BE SELECTED BY OWNER)
- BATHROOMS AND POWDER ROOMS SHALL RECEIVE LARGE FORMAT PORCELAIN TILE (STYLE & COLOR TO BE SELECTED BY OWNER)
- ALL INTERIOR WALL BASE SHALL BE 1" X 4" WOOD - PAINTED
- ALL INTERIOR DOOR AND WINDOW CASING SHALL BE 1" X 4" WOOD - PAINTED

NOTE:

1. FIT-OUT OF COMMERCIAL SALON TENANT AREA SHALL BE PRICED, PERMITTED AND BUILT UNDER A SEPARATE CONTRACT.
2. ALL WALLS, FLOORS, CEILINGS AND PARTITIONS THAT SEPARATE THE COMMERCIAL TENANT SPACE FROM ALL OTHER ENCLOSED SPACES SHALL BE CONSTRUCTED TO PROVIDE A ONE-HOUR FIRE RATING AND SHALL BE SEALED TO PREVENT THE TRANSFER OF SMOKE.
3. INTERIOR FINISHES, COLORS, LIGHT FIXTURES, PLUMBING FIXTURES, MIRRORS RECEPTION DESK AND SALON FIXTURES SHALL BE SELECTED BY THE TENANT AND SHALL BE PRICED AND INSTALLATION COORDINATION BY THE FIT-OUT CONTRACTOR
4. ELECTRICAL, HVAC, FIRE ALARM, FIRE PROTECTION SYSTEMS, DEVICES AND AND DISTRIBUTION SHALL BE PROVIDED, INSTALLED AND COORDINATED BY THE FIT-OUT CONTRACTOR.

COMMERCIAL	1,815 SF
STAIRS	162 SF
MISC.	470 SF
TOTAL	2,447 SF

FIRST FLOOR

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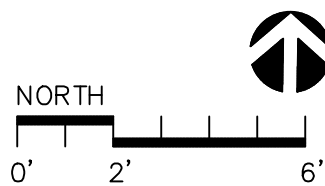
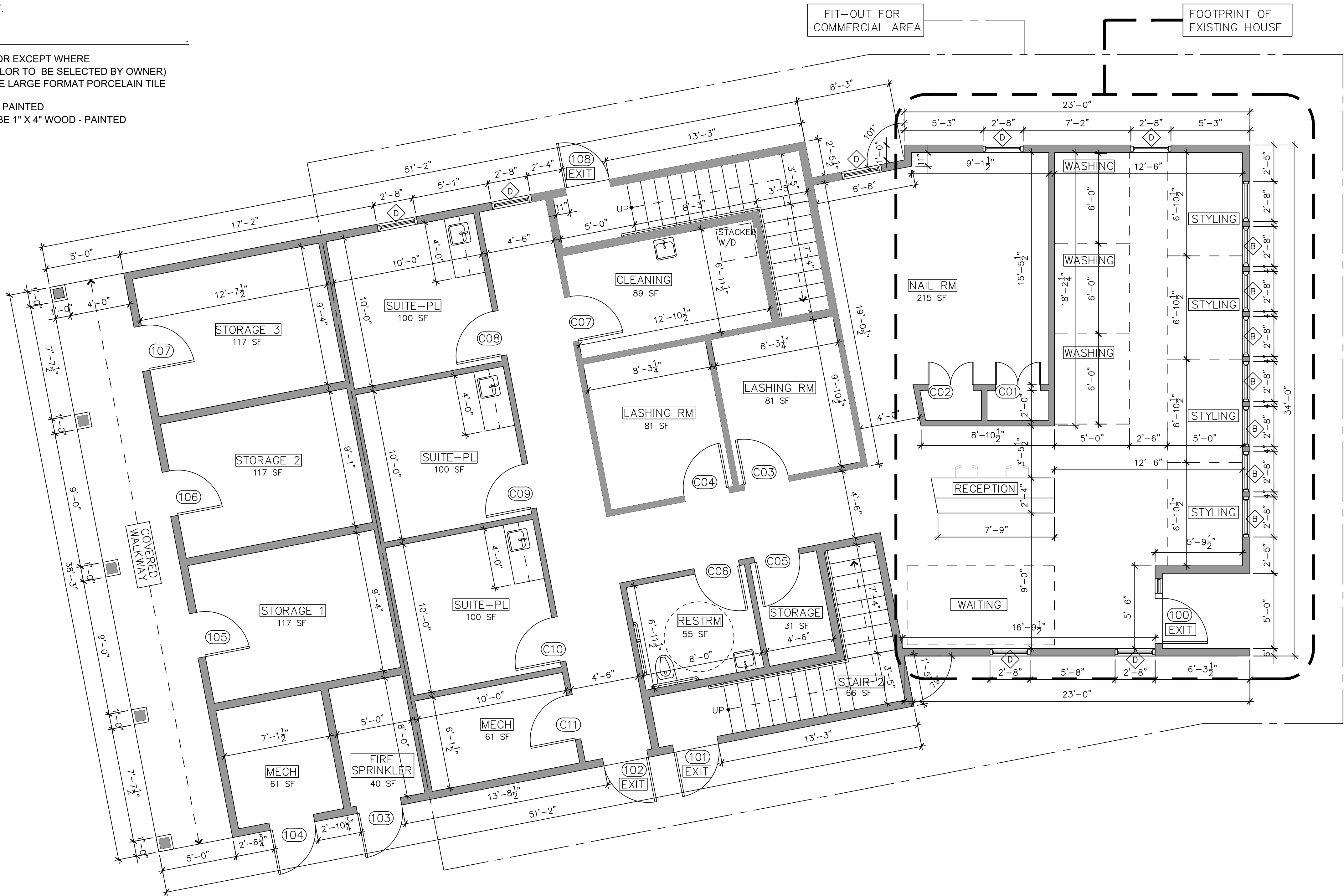
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FIRST FLOOR PLAN

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A.2



1 - TYPICAL EXTERIOR WALL CONSTRUCTION

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- CUT NEW WINDOW OPENINGS PER PLANS. INSTALL WATERPROOFING AND SEALANT
- PROVIDE EXPANDABLE FOAM INSULATION AT ALL JOINTS AND TIGHT LOCATIONS.
- PROVIDE 6 MIL. POLY VAPOR BARRIER ON INTERIOR FACE OF STUDS (USE MANUFACTURER RECOMMENDED TAPE AT ALL JOINTS) WITH 1/2" GYPSUM WALL BOARD.

2 - TYPICAL INTERIOR WALL CONSTRUCTION

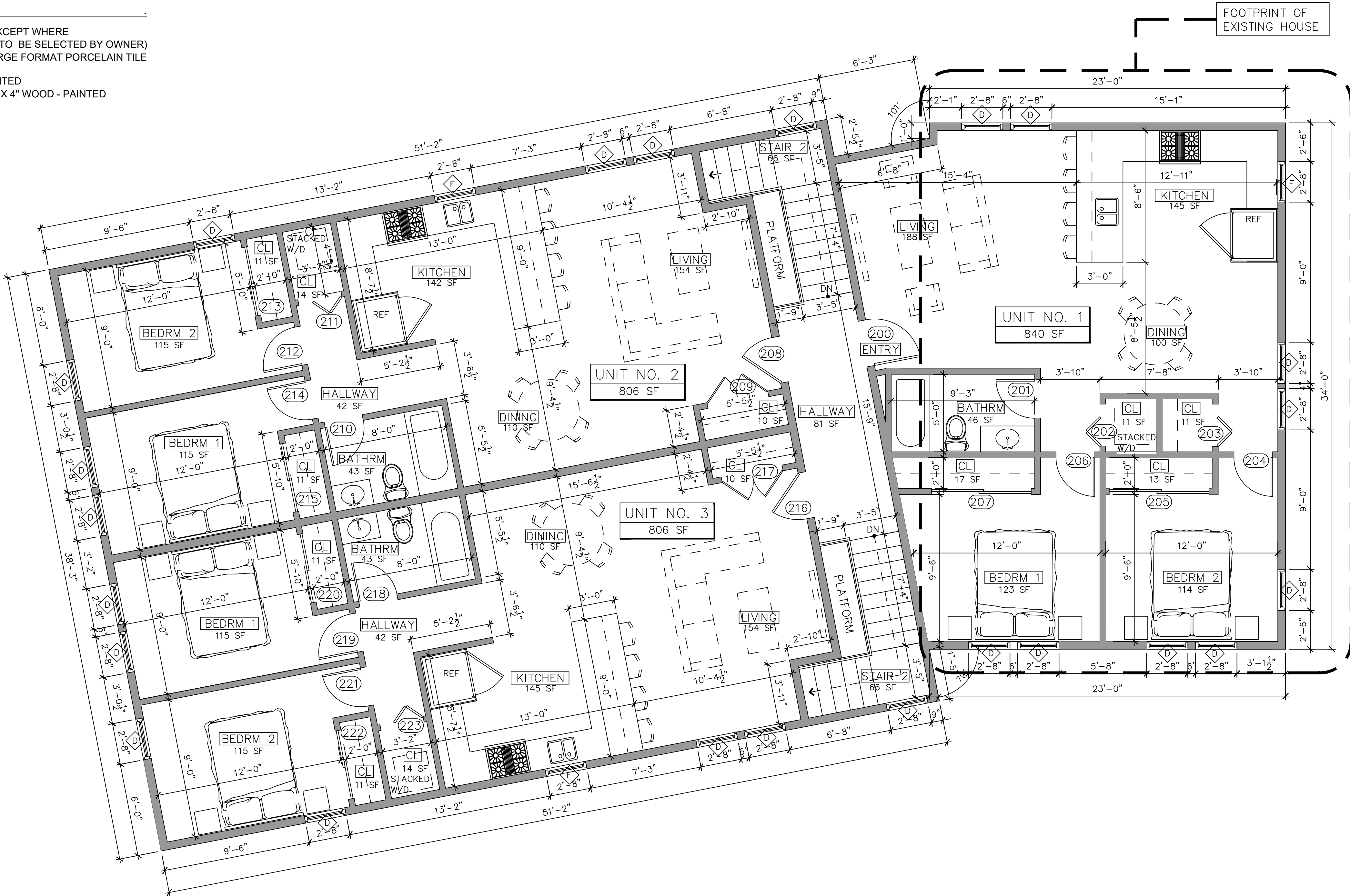
- 1/2" GYPSUM WALL BOARD OVER WALL FRAMING SYSTEM.
- MECHANICAL ROOM SHALL BE SEPARATED FROM ALL HABITABLE SPACES BY NOT LESS THAN 5/8" TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT GYPSUM WALLBOARD.

3 - TYPICAL CEILING CONSTRUCTION

- 1/2" GYPSUM WALL BOARD OVER 1x3 STRAPPING @ 16" O.C. OVER CEILING JOISTS SYSTEM ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT GYPSUM WALL BOARD. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" GYPSUM WALL BOARD OR EQUIVALENT.

4 - PLAN NOTES

- INSTALL 8MIL. LVT FLOORING THROUGHOUT FLOOR EXCEPT WHERE INDICATED BELOW OR ON THE PLANS (STYLE & COLOR TO BE SELECTED BY OWNER)
- BATHROOMS AND POWDER ROOMS SHALL RECEIVE LARGE FORMAT PORCELAIN TILE (STYLE & COLOR TO BE SELECTED BY OWNER)
- ALL INTERIOR WALL BASE SHALL BE 1" X 4" WOOD - PAINTED
- ALL INTERIOR DOOR AND WINDOW CASING SHALL BE 1" X 4" WOOD - PAINTED



UNIT 1	840 SF
UNIT 2	806 SF
UNIT 3	806 SF
HALLWAY	81 SF
STAIRS	191 SF
TOTAL	2,724 SF

SECOND FLOOR

GMG Designs

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PROJECT:

RENOVATIONS
AND ADDITION FOR
42 PARK STREET
AYER MA 01432

STAMP

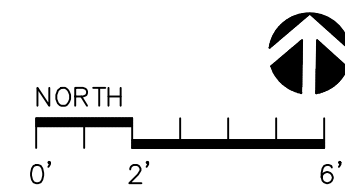
01	PLANS & DESIGN CHANGES	9.21.23
NO.	REVISION	DATE

Drawing Title

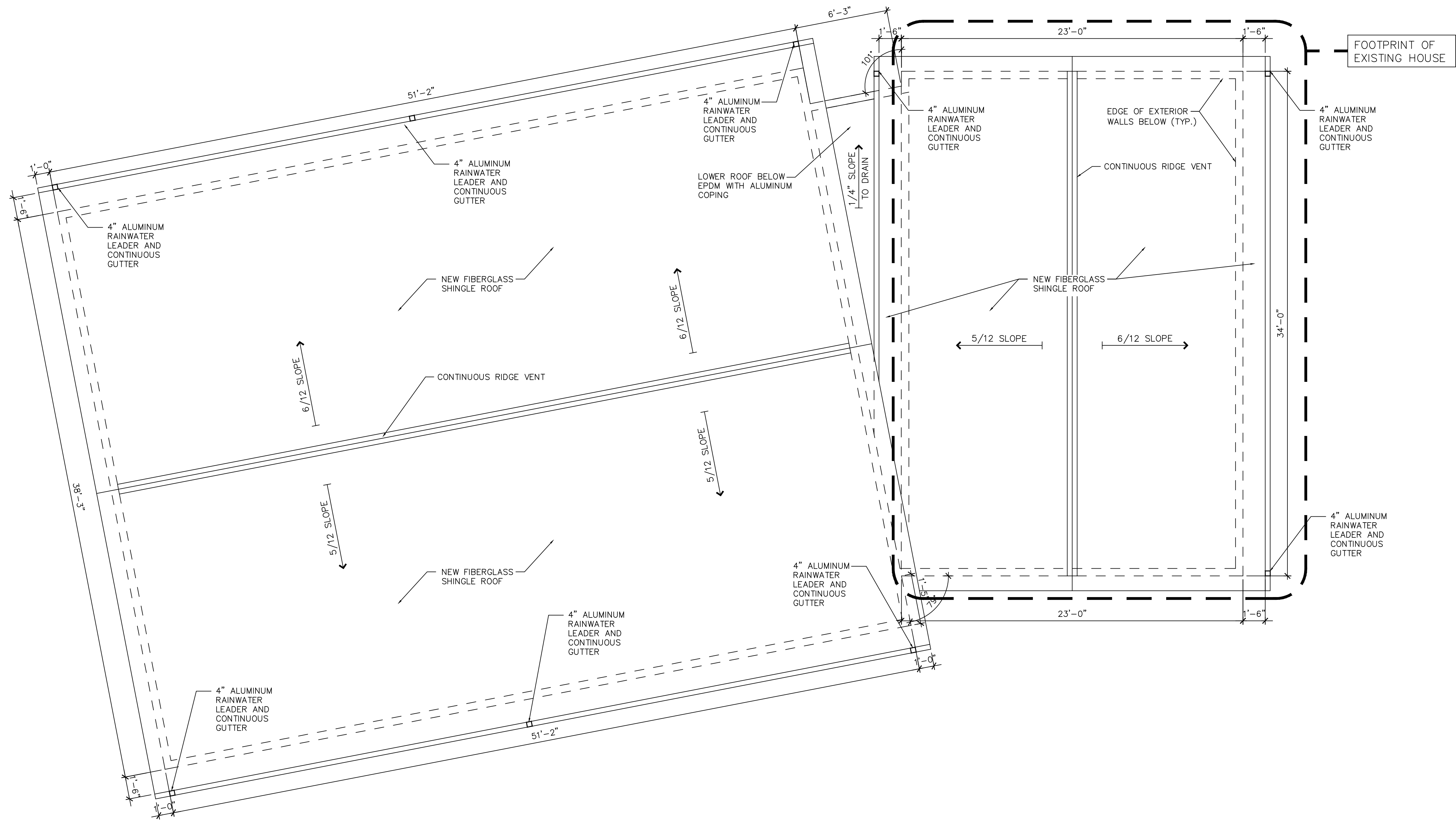
SECOND FLOOR PLAN

Scale	1/4" = 1'-0"
Project No.	AG-001
Drawn By	G M G
Date	JUNE 15, 2023

Sheet No.



A.3



EPDM AREA
+/- 75 SF
SHINGLE TILE AREA
3,179 SF

ROOF

GMG Designs

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617.980.4938
gerardmgeorges@gmail.com
geradimo1@aol.com

ADE Designers and Engineers
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PROJECT:

RENOVATIONS
AND ADDITION FOR
42 PARK STREET
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01	PLANS & DESIGN CHANGES	9.21.23
NO.	REVISION	DATE

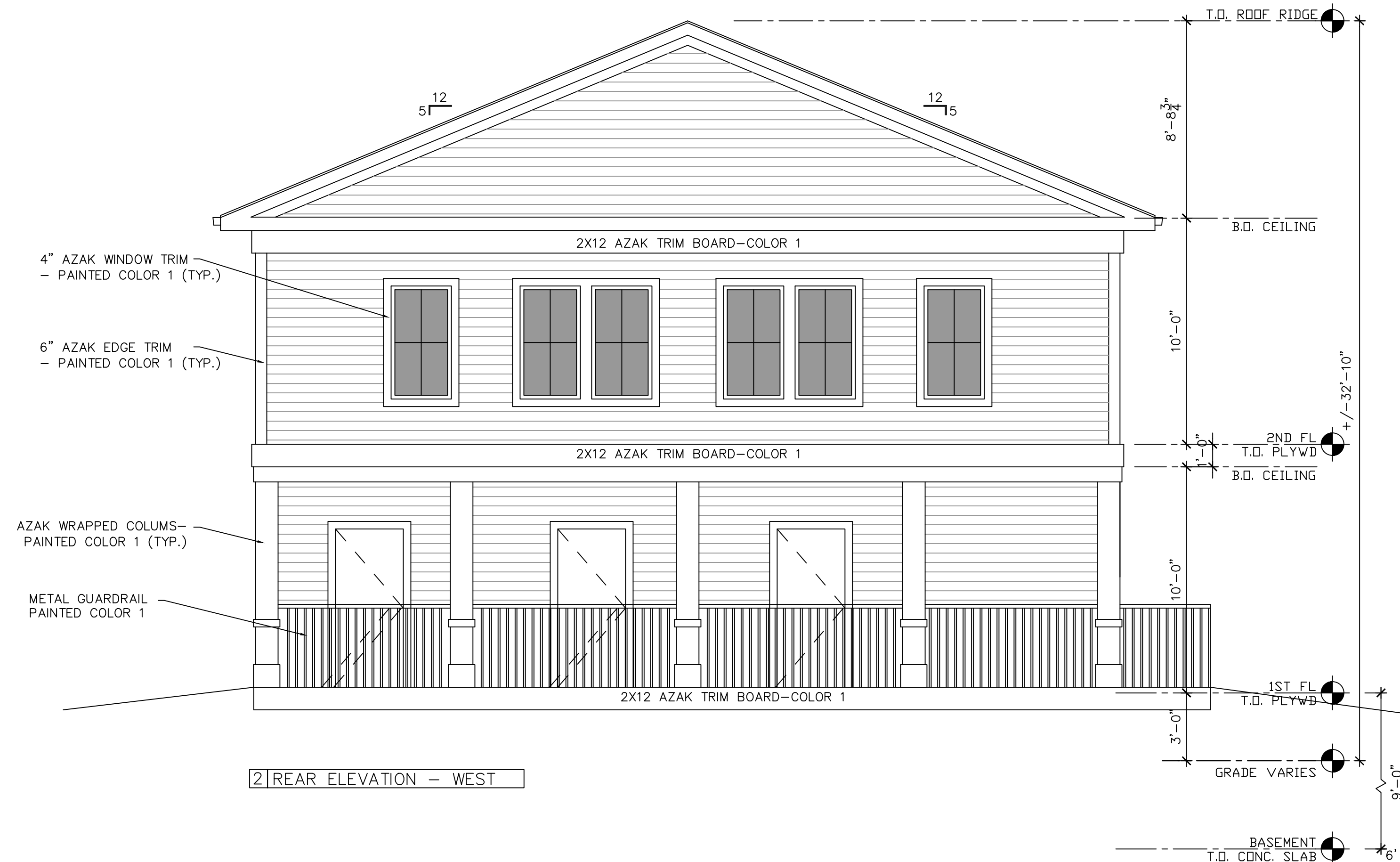
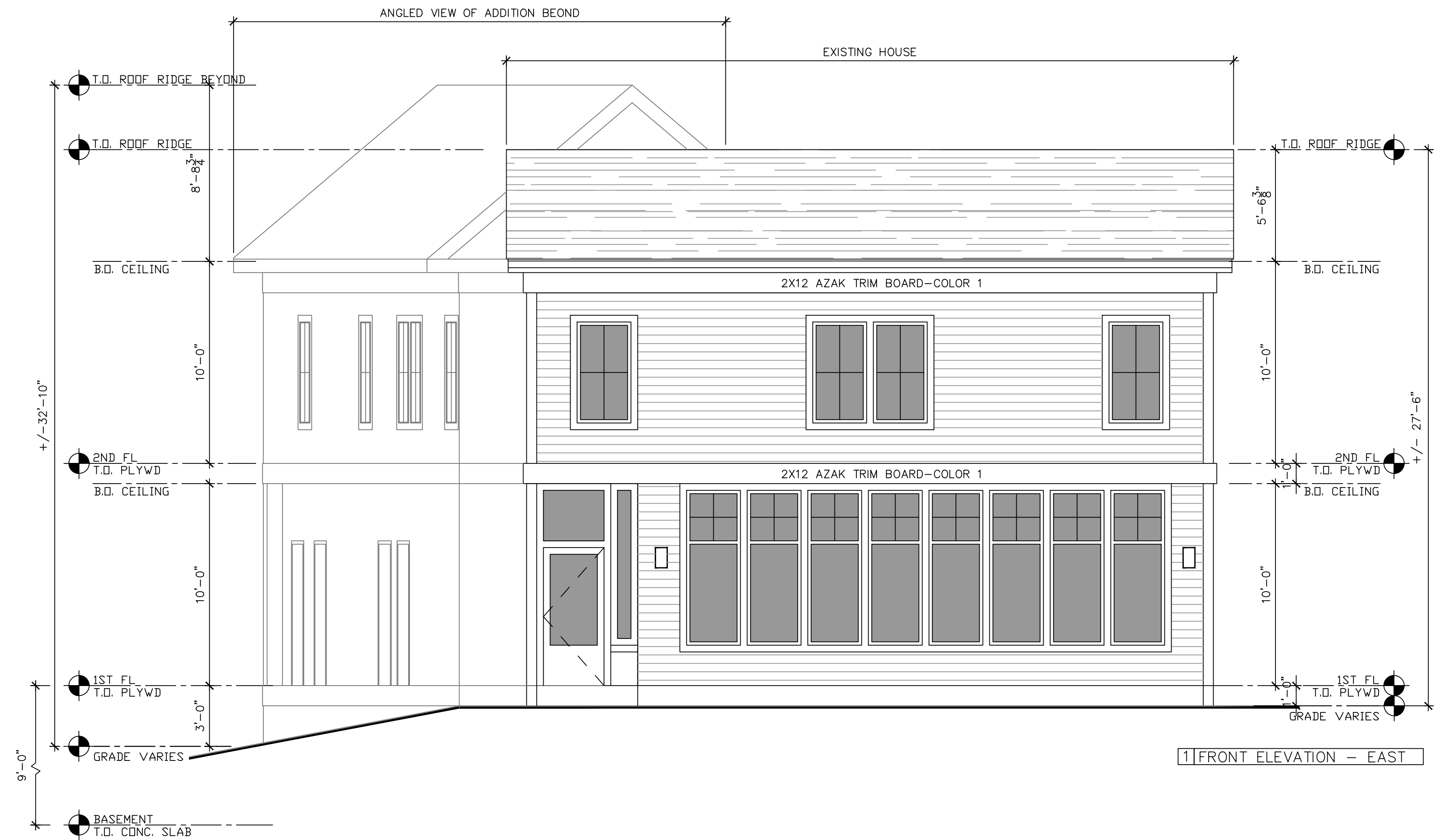
Drawing Title

ROOF PLAN

Scale	1/4" = 1'-0"
Project No.	AG-001
Drawn By	G M G
Date	JUNE 15, 2023

Sheet No.

A.4



GMG Designs

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NO.	REVISION	DATE

Drawing Title

EXTERIOR
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	AG-001
Drawn By	G M G
Date	JUNE 15, 2023

Sheet No.

A.5



GMG Designs

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PROJECT:

RENOVATIONS
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42 PARK STREET
AYER MA 01432

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NO.	REVISION	DATE

Drawing Title

EXTERIOR
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	AG-001
Drawn By	G M G
Date	JUNE 15, 2023

Sheet No.

A.6