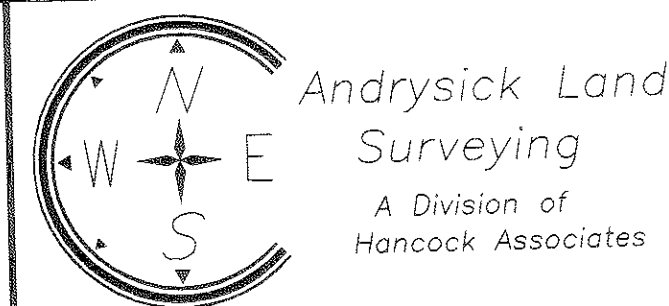
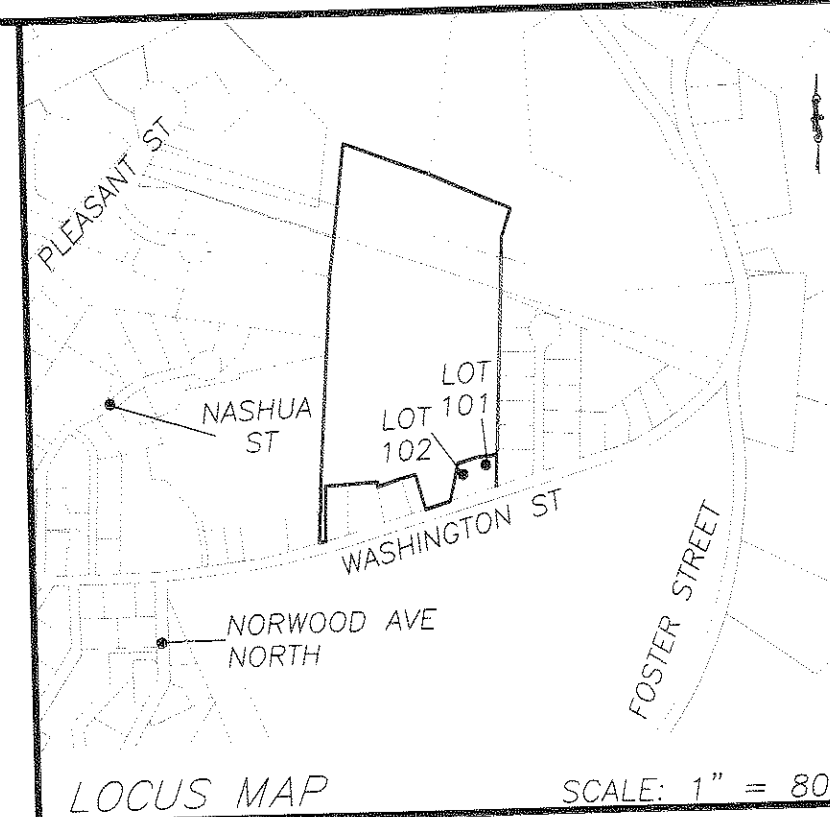
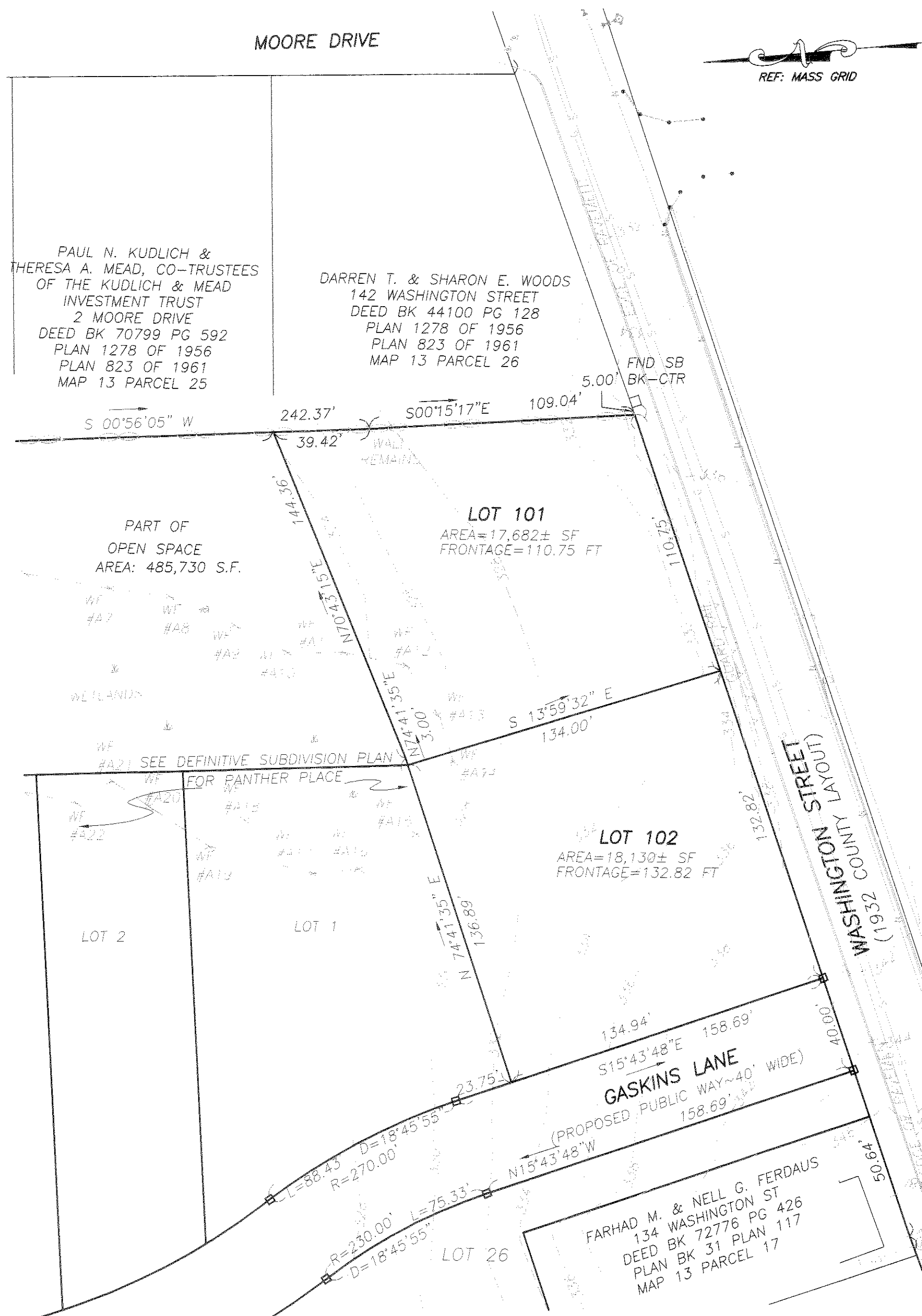


Middlesex Registry of Deeds,
Southern District
Cambridge, Massachusetts
Plan No. 770(143) of 2021
Rec'd 10-22 2021
at 11 H 08 M A.M.

Attest
[Signature]
Register

FOR REGISTRY OF DEEDS USE ONLY



Civil Engineers
Land Surveyors
Wetland Specialists

206 WORCESTER RD
PO BOX 97, PRINCETON, MA 01541
PH (978)464-5890, FAX (978)464-5383
DWANDRYSICK@HANCOCKASSOCIATES.COM
WWW.HANCOCKASSOCIATES.COM

OWNERS OF RECORD:

JULIA B. GERAN
155 RUGGLES STREET
WESTBOROUGH, MA 01581
DEED BK 25795 PG 205
DEED BK 26042 PG 354
MAP 13 LOTS 13 & 14

LAURA M. BLACK
3 BENJAMIN DRIVE
WESTBOROUGH, MA 01581
DEED BK 25795 PG 205
DEED BK 26042 PG 354
MAP 13 LOTS 13 & 14

ZONING REFERENCE:

ZONING DISTRICT: RESIDENCE A2

SETBACK REQUIREMENTS: 1 FAMILY
FRONTAGE = 100 FT
ACREAGE = 12,000 SQ.FT.
FRONT = 20 FT
SIDE = 15 FT
REAR = 25 FT

PLAN REFERENCES

PLAN NUMBER 806 OF 2019
PLAN NUMBER 213 OF 2018
PLAN NUMBER 747 OF 2016
PLAN NUMBER 249 OF 2016
PLAN NUMBER 1049 OF 1988
PLAN NUMBER 225 OF 1982
PLAN NUMBER 823 OF 1961
PLAN NUMBER 1278 OF 1956
PLAN BOOK 58 PG 3
1932 COUNTY LAYOUT WASHINGTON STREET

NOTES:

- 1) SEE PROPOSED DEFINITIVE SUBDIVISION PLAN OF PANTER PLACE DATED APRIL 20, 2021.
- 2) WETLANDS WERE DELINEATED BY OXBOW ASSOCIATES.
- 3) ORDER OF RESOURCE DELINEATION, DEED BK 77265 PG 499

PLANNING BOARD ENDORSEMENT SHOULD NOT BE CONSTRUED AS EITHER AN ENDORSEMENT OR AN APPROVAL OF ZONING REQUIREMENTS

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
MGL CHAPTER 41 SECTION 81P
AYER PLANNING BOARD

[Signature]
[Signature]
[Signature]

DATE: 8/24/21

ASSESSORS:

MAP	LOTS
13	13, 14

PREPARED FOR:

**NORTHEAST SITE
DEVELOPMENT, LLC**
P.O. BOX 2264
ACTON, MA 01720

NO.	BY	APP.	DATE	ISSUE/REVISION	DESCRIPTION
DATE:	8/19/21	DESIGN BY:			
SCALE:	1" = 40'	DRAWN BY:	PMC		
APPRVD. BY:	DWA	CHECK BY:	DWA		

**PLAN OF LAND
IN
AYER, MA**
**WASHINGTON STREET
AYER, MA 01432**

OWNERS OF RECORD:

JULIA B. GERAN
155 RUGGLES STREET
WESTBOROUGH, MA 01581
MAP 13 LOTS 13 + 14
LAURA M. BLACK
3 BENJAMIN DRIVE
WESTBOROUGH, MA 01581
MAP 13 LOTS 13 + 14

DWG: 23879-base.dwg

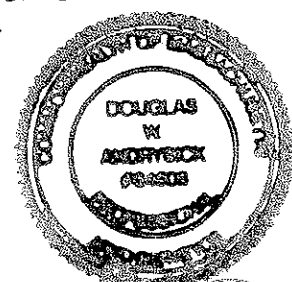
LAYOUT: ANR

SHEET: 1 OF 1

PROJECT NO.: 23879

ANR

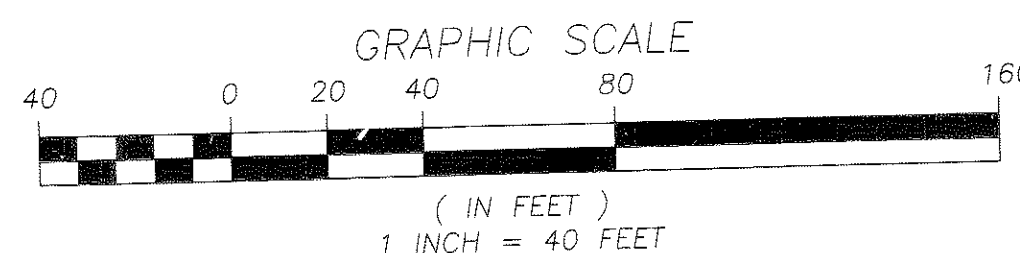
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



Douglas W. Andrysick 8/19/21
PROFESSIONAL LAND SURVEYOR DATE

LEGEND

- | | |
|--|---|
| | PROPERTY LINE |
| | STONE WALL |
| | EXISTING 10' CONTOUR |
| | EXISTING 2' CONTOUR |
| | LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER |
| | FOUND STONE BOUND WITH DRILL HOLE |
| | MONUMENT TO BE SET |



770 of 2021(143)

PLAN NO. 776 OF 2021
SHEET 3 OF 3

FOR REGISTRY OF DEEDS USE ONLY

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



Douglas W. Andryszek 8/18/21
PROFESSIONAL LAND SURVEYOR DATE

I, Susan E. Copeland, CLERK OF THE TOWN OF AYER, MA, HEREBY CERTIFY THE NOTICE OF APPROVAL OF THIS PLAN BY THE AYER PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DUE THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Susan E. Copeland 10/5/2021
TOWN CLERK DATE

OWNERS OF RECORD:
JULIA B. GERAN
155 RUGGLES STREET
WESTBOROUGH, MA 01581
DEED BK 25795 PG 205
DEED BK 26042 PG 354
MAP 13 LOTS 13 & 14

LAURA M. BLACK
3 BENJAMIN DRIVE
WESTBOROUGH, MA 01581
DEED BK 25795 PG 205
DEED BK 26042 PG 354
MAP 13 LOTS 13 & 14

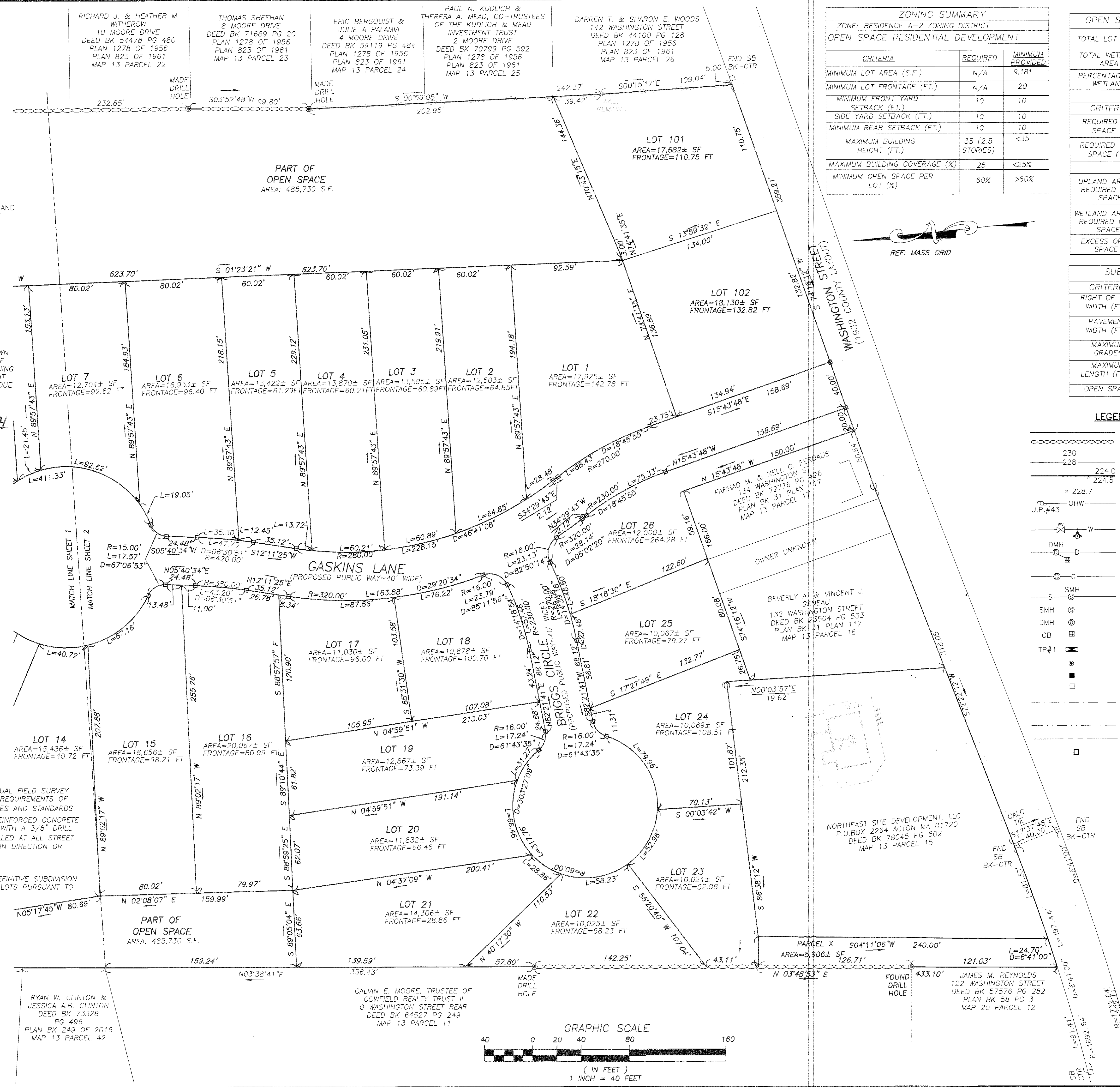
MARVIN S. SILVER & DENNIS M. GERAN,
TRUSTEES OF THE CAB-LRB NOMINEE TRUST
155 RUGGLES STREET
WESTBOROUGH, MA 01581
DEED BK 30854 PG 128
MAP 13 LOT 12

ZONING REFERENCE:
ZONING DISTRICT: RESIDENCE A2

PLAN REFERENCES:
PLAN NUMBER 806 OF 2019
PLAN NUMBER 213 OF 2018
PLAN NUMBER 747 OF 2016
PLAN NUMBER 249 OF 2016
PLAN NUMBER 1049 OF 1988
PLAN NUMBER 225 OF 1982
PLAN NUMBER 823 OF 1961
PLAN NUMBER 1278 OF 1956
PLAN BOOK 58 PG 3
1932 COUNTY LAYOUT WASHINGTON STREET

NOTES:

- THIS PLAN HAS BEEN BASED UPON AN ACTUAL FIELD SURVEY AND PRODUCED IN ACCORDANCE WITH THE REQUIREMENTS OF 250 CMR 6.00 LAND SURVEYING PROCEDURES AND STANDARDS
- MONUMENTS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE OR GRANITE OF NOT LESS THAN 6"x6"x48" WITH A 3/8" DRILL HOLE IN THE CENTER AND SHALL BE INSTALLED AT ALL STREET INTERSECTIONS, AT ALL POINTS OF CHANGE IN DIRECTION OR CURVATURE OF STREETS.
- PARCEL X IS NOT A BUILDING LOT.
- LOTS 101 & 102 ARE NOT PART OF THE DEFINITIVE SUBDIVISION PLANS. THEY ARE APPROVAL NOT REQUIRED LOTS PURSUANT TO MGL 41B §19, AND WILL BE PRESENTED ON A SEPARATE PLAN.

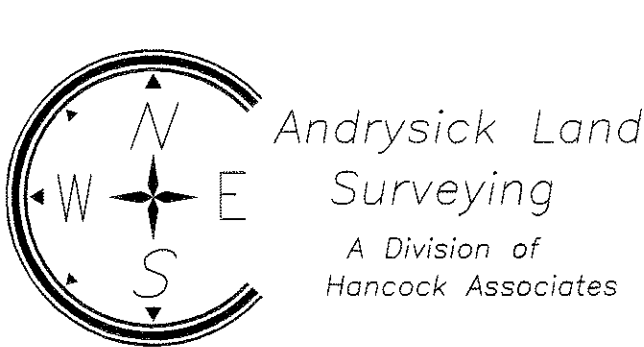


ZONING SUMMARY		
ZONE: RESIDENCE A-2 ZONING DISTRICT		
OPEN SPACE RESIDENTIAL DEVELOPMENT		
CRITERIA	REQUIRED	MINIMUM PROVIDED
MINIMUM LOT AREA (S.F.)	N/A	9,181
MINIMUM LOT FRONTAGE (FT.)	N/A	20
MINIMUM FRONT YARD SETBACK (FT.)	10	10
SIDE YARD SETBACK (FT.)	10	10
MINIMUM REAR SETBACK (FT.)	10	10
MAXIMUM BUILDING HEIGHT (FT.)	35 (2.5 STORIES)	<35
MAXIMUM BUILDING COVERAGE (%)	25	<25%
MINIMUM OPEN SPACE PER LOT (%)	60%	>60%

OPEN SPACE REQUIREMENTS		
TOTAL LOT AREA	882,882	
TOTAL WETLAND AREA	80,569	
PERCENTAGE OF WETLAND	9	
CRITERIA	REQUIRED	PROVIDED
REQUIRED OPEN SPACE (%)	50	55
REQUIRED OPEN SPACE (SF)	441,441 SF	485,730
UPLAND AREA IN REQUIRED OPEN SPACE	401,157 SF	91%*
WETLAND AREA IN REQUIRED OPEN SPACE	40,285 SF	9%*
EXCESS OPEN SPACE	44,289 SF	

SUBDIVISION REGULATIONS		
CRITERIA	REQUIRED	PROVIDED
RIGHT OF WAY WIDTH (FT)*	40	40
PAVEMENT WIDTH (FT)*	22	22
MAXIMUM GRADE*	9	±7%
MAXIMUM LENGTH (FT)**	650	611
OPEN SPACE	50.00%	55

LEGEND	
	PROPERTY LINE
	STONE WALL
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	CURB WITH TOP AND BOTTOM CURB ELEVATION
	SPOT ELEVATION
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	WATER MANHOLE, WATER MAIN GATE VALVE & FIRE HYDRANT
	DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
	GAS MAIN WITH GATE VALVE
	SEWERLINE & MANHOLE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	TEST PIT
	FOUND OR MADE DRILL HOLE
	FOUND CONCRETE BOUND WITH DRILL HOLE
	FOUND STONE BOUND WITH DRILL HOLE
	LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER
	LIMIT OF 25', 50' & 100' WETLAND BUFFER ZONE
	NATURAL HERITAGE ENDANGERED SPECIES
	MONUMENT TO BE SET-SEE NOTE



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Land Surveyors
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LOT PLAN IN AYER, MA 01432

ASSESSORS:
MAP 13 LOTS 12, 13, 14

PREPARED FOR:

**NORTHEAST SITE
DEVELOPMENT, LLC**
P.O. BOX 2264
ACTON, MA 01720

BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
DATE:	4/19/21	DESIGN BY:		
SCALE:	1" = 40'	DRAWN BY:	PMC	
APPROV. BY:	DWA	CHECK BY:	DWA	

DEFINITIVE SUBDIVISION PLAN OF LAND IN AYER, MA PANTHER PLACE WASHINGTON STREET AYER, MA 01432 OWNERS OF RECORD:

JULIA B. GERAN
155 RUGGLES STREET
WESTBOROUGH, MA 01581
MAP 13 LOTS 13 & 14

LAURA M. BLACK
3 BENJAMIN DRIVE
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MARVIN S. SILVER + DENNIS M. GERAN,
TRUSTEES OF THE CAB-LRB NOMINEE TRUST
155 RUGGLES STREET
WESTBOROUGH, MA 01581
MAP 13 LOT 12

DWG: 23879	C2.2
LAYOUT:	
SHEET:	
PROJECT NO.:	23879

REF: DECISION BK 79007 PG 78 COVENANT BK 79007 PG 86 770 of 2021 (3 of 3)