

PRELIMINARY SUBDIVISION & OPEN SPACE RESIDENTIAL DEVELOPMENT PLAN IN AYER STRATTON HILL TITLE SHEET

SHEET INDEX

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APPLICANT: FOX MEADOW REALTY CORP.
129 SKYFIELDS DRIVE
GROTON, MA 01540

RECORD OWNER: FOX MEADOW REALTY CORP.
129 SKYFIELDS DRIVE
GROTON, MA 01540

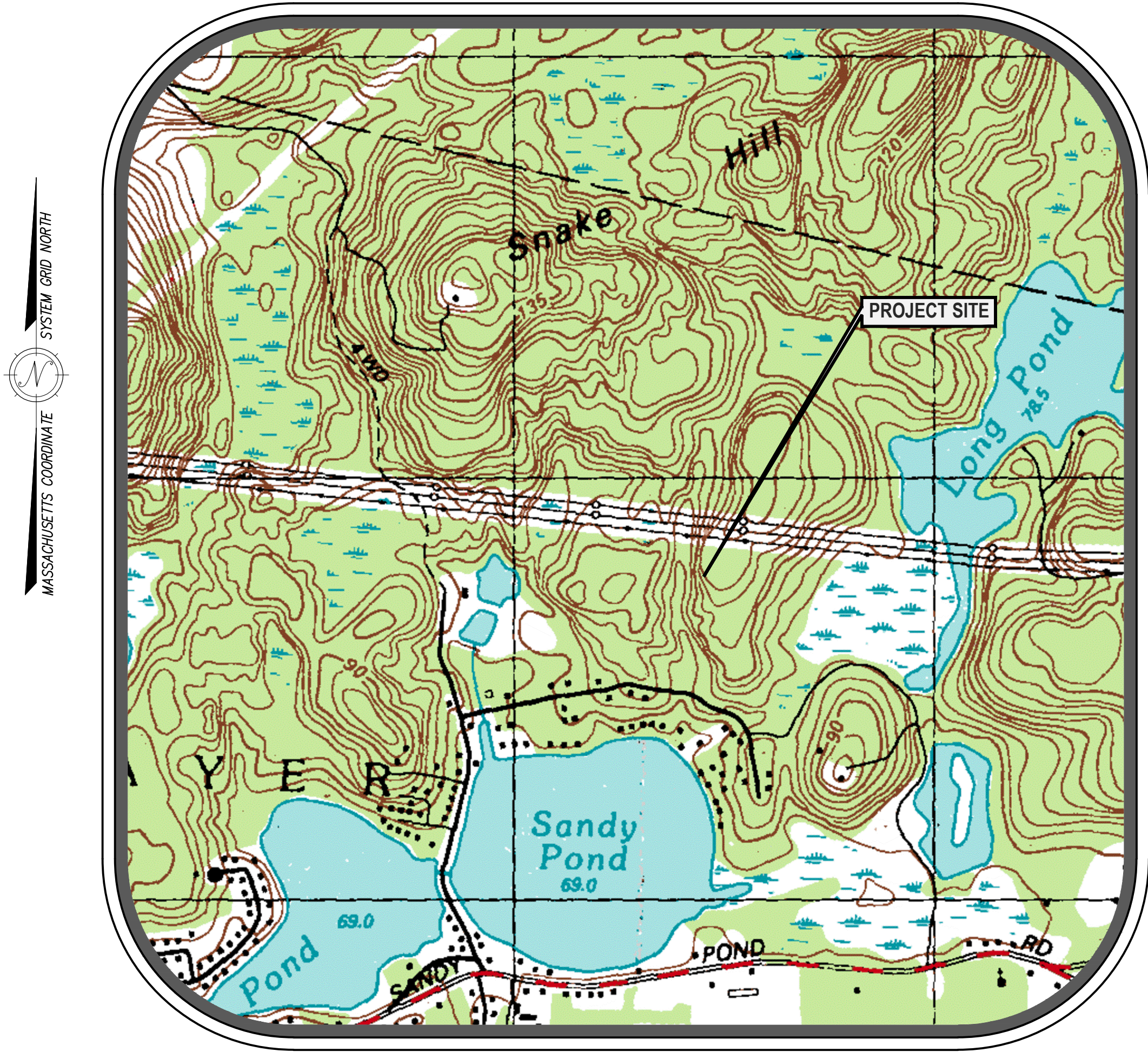
DEED REFERENCE: BK.28127 PG.79 BK.35948 PG.374

PLAN REFERENCE: PLAN NO. 829 OF 2005

ASSESSORS REFERENCE: MAP: 6, PARCELS: 1-3, 7-8, 11-55

ZONING CLASSIFICATION: RESIDENCE A-1

LOT SIZE STANDARDS: AREA = 40,000 SF FRONTAGE = 150'
(CONVENTIONAL)



RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER
THE SUBDIVISION CONTROL LAW
AYER PLANNING BOARD

BEING A MAJORITY
DATE APPROVED: _____
DATE ENDORSED: _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS



PROFESSIONAL LAND SURVEYOR DATE PROFESSIONAL ENGINEER DATE

DILLIS & ROY
CIVIL DESIGN GROUP

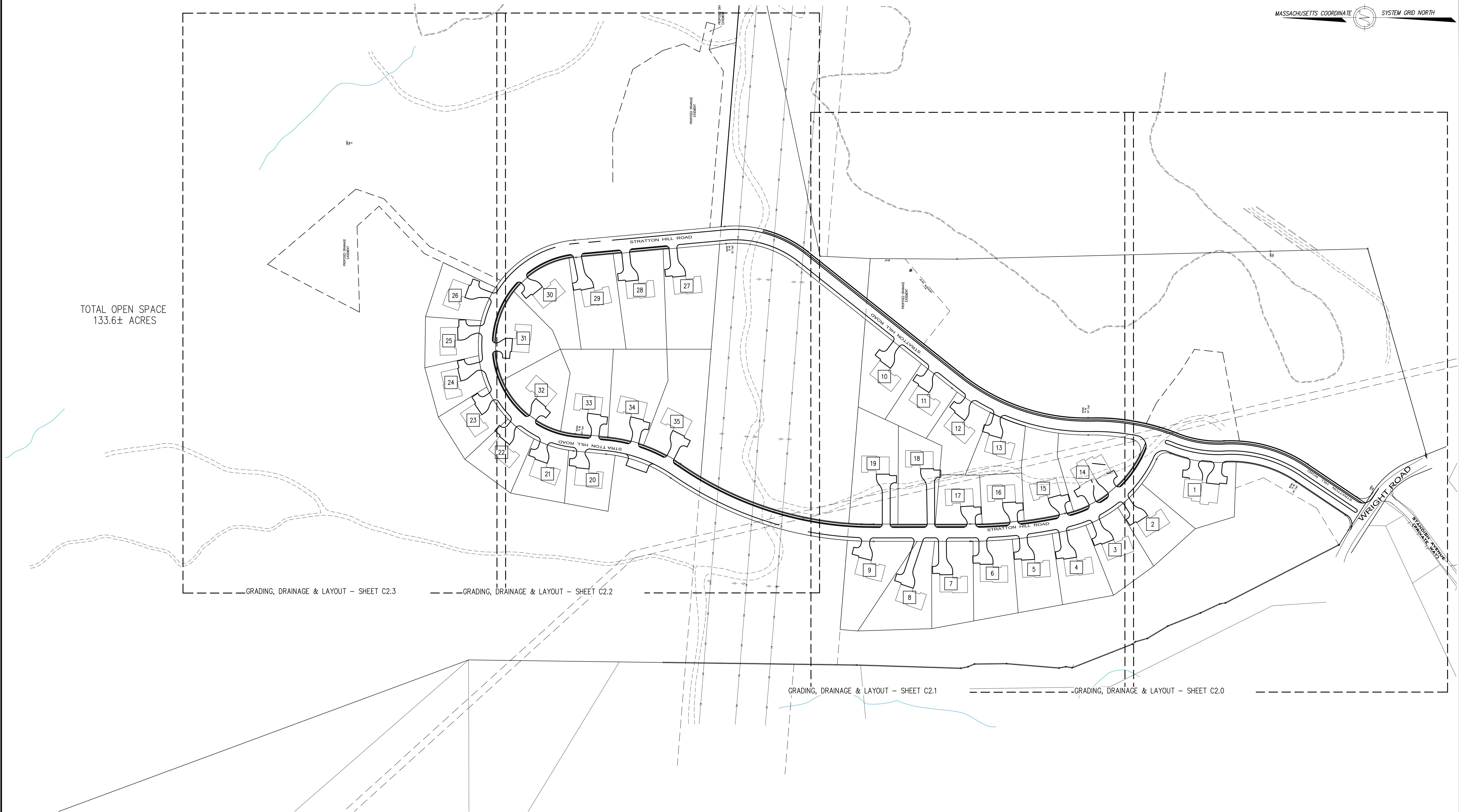
CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
1 MAIN STREET, SUITE 1 PHONE: (978) 779-6091
LUNENBURG, MA 01462 www.dillisoroy.com

PLAN REVISIONS

NO.	DATE:	DESCRIPTION:	BY:
1	7/6/22	GENERAL REVISIONS	SRD
2	7/22/22	REVISE ENTRANCE	SRD
3	10/07/22	RE-CONFIGURE LOTS	SRD

PRELIMINARY SUBDIVISION PLAN
AYER, MASSACHUSETTS
TITLE SHEET
STRATTON HILL

DESIGN BY: FMM	DRAWN BY: SRD	CHECKED BY: FMM	SHEET NO. C1.0
DATE: 10/7/2022	JOB NUMBER: 6083	DRAWING NO. 6083-COVER	



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STANLEY R. DILLIS
No. 33182
PROFESSIONAL
LAND SURVEYOR

FRANCIS M. ROY
No. 49572
REGISTERED
PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER DATE

DILLIS & ROY
CIVIL DESIGN GROUP

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PRELIMINARY SUBDIVISION PLAN
AYER, MASSACHUSETTS
KEY SHEET
STRATTON HILL

DESIGN BY: FMM	DRAWN BY: SRD	CHECKED BY: FMM	SHEET NO. C1.1
DATE: 10/7/2022	JOB NUMBER: 6083	DRAWING NO. 6083-KEY	

LEGEND

PROP. FEATURE	DESCRIPTION	PROP. SYM.	DESCRIPTION
	REPLICATED WETLANDS		PROPOSED LIGHT POLE
	PROPERTY LINE		PROPOSED TELEPHONE POLE
	EASEMENT LINE		
	HAYBALES		PROPOSED HYDRANT
	WIRE FENCE		PROPOSED SANITARY MANHOLE
	WOOD FENCE		PROPOSED STORM WATER MANHOLE
	GUARD RAIL		PROPOSED TELEPHONE MANHOLE
	CHAIN LINK FENCE		PROPOSED ELECTRICAL MANHOLE
	POURED CONCRETE RETAINING WALL		PROPOSED WATER SHUTOFF
	CONC. BLOCK RETAINING WALL		
	STONE RETAINING WALL		PROPOSED POST
	PROPOSED WATER LINE		PROPOSED CATCH BASIN
	PROPOSED GAS LINE		PROPOSED DOUBLE CATCH BASIN
	PROPOSED ELECTRICAL LINE		PROPOSED WATER GATE VALVE
	PROPOSED SANITARY SEWER		PROPOSED GAS GATE VALVE
	PROPOSED STORM DRAIN		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED ROOF DRAIN		PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED UNDER DRAIN		PROPOSED GAS METER
	PROPOSED TELEPHONE LINE		PROPOSED TRAFFIC SIGNAL SWITCH
	PROPOSED CABLE LINE		PROPOSED SIGN
	PROPOSED BACK CAPE COD BERM		BORING
	PROPOSED EDGE OF PAVEMENT		HANDICAPPED SPACE
	PROPOSED UNPAVED ROAD		PROPOSED FLARED END SECTION
	PROPOSED CONTOUR (INDEX)		PROPOSED RIPRAP
	PROPOSED CONTOUR (INTERMEDIATE)		PROPOSED STONE BOUND
	PROPOSED SPOT ELEVATION		STANDARD TREE
	PROPOSED BUILDING/HOUSE		PINE TREE
	TREE LINE		SHRUB

ABBREVIATIONS

ABB.	DESCRIPTION
ATM	ATMOSPHERIC TANK
UD	UNDERDRAIN
FD	FOUNDATION DRAIN
F.S.	FIRE SERVICE
DOM	DOMESTIC WATER SERVICE
B.O.	WATER BLOW OFF
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
ST	SEPTIC TANK
PC	PUMP CHAMBER
DP1	DRAIN PIPE ID
SP1	SEWER PIPE ID
DB	DISTRIBUTION BOX
SC	STORMCATCHER CATCH BASIN
GAL	GALLON
TOF	TOP OF FOUNDATION
EL.	ELEVATION
INV.	INVERT
WSO	WATER SHUTOFF
BCCB	BITUMINOUS CAPE COD BERM
RET.	RETAINING WALL
C.O.	CLEAN OUT
INSP. T.	INSPECTION PORT
VCC	VERTICAL CONCRETE CURB
BCCB	BITUMINOUS CAPE COD BERM
VCC	VERTICAL GRANITE CURB

LEGEND

EXIST. FEATURE	DESCRIPTION	EXIST. SYM.	DESCRIPTION
	STREAMS/RIVERS		LIGHT POLE
	WETLANDS		TELEPHONE POLE
	LIMIT OF BUFFER ZONE		GUY WIRE
	LEDGE		HYDRANT
	100' WELL OFFSET		SEWER MANHOLE
	WELL RADIUS		STORM WATER MANHOLE
	PROPERTY LINE		
	EASEMENT LINE		
	WIRE FENCE		
	WOOD FENCE		
	GUARD RAIL		
	CHAIN LINK FENCE		
	CONCRETE RETAINING WALL		
	STONE RETAINING WALL		
	STONE WALL		
	WATER LINE		
	GAS LINE		
	ELECTRICAL LINE		
	SANITARY SEWER		
	STORM DRAIN		
	ELEPHONE LINE		
	CABLE LINE		
	EXISTING OVER-HEAD WIRES		
	EXISTING CONTOUR (INDEX)		
	EXISTING CONTOUR (INTERMEDIATE)		
	EXISTING SPOT ELEVATION		
	EXISTING BUILDING/HOUSE		
	TREE LINE		

GRADING/DRAINAGE NOTES:

- GRADES SHOWN ON PLANS (C5.0-C5.3) REFER TO FINAL FINISHED GRADES.
- REFER TO SHEETS C7.0 THROUGH C7.4 FOR ADDITIONAL DETAILS PERTAINING TO TYPICAL CROSS SECTIONS AND OTHER PERTINENT DETAILS.
- ELEVATIONS REFER TO NVD 88.
- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN REFERS TO THE PLAN ABOVE, ALONG WITH RECORD PLANS AND DEEDS.
- WETLAND DELINEATION REFERS TO AN ORDER OF RESOURCE AREA DELINEATION (ORAD) DEP FILE NUMBER 100-0445.
- EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPLIED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG-SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.
- ALL CATCH BASINS SHALL BE 4'-FOOT DIAMETER PRECAST CONCRETE STRUCTURES FOR H-20 LOADING UNLESS OTHERWISE NOTED. SEE DETAIL ON SHEET C7.0 THROUGH C7.4.
- ALL CATCH BASIN GRATES SHALL BE SET AT BINDER ASPHALT GRADES AND RAISED TO FINAL FINISHED GRADES JUST PRIOR TO TOP COAT PAVEMENT PLACEMENT.
- THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO MINIMIZE COMPACTION OF SOILS IN RECHARGE AREAS BOTH DURING AND AFTER CONSTRUCTION.
- BUILDING ENVELOPES DEPICTED ON THIS PLAN ARE GENERIC. ONCE FINAL BUILDING FOOTPRINTS ARE CHOSEN FOR EACH UNIT, THE GRADING AROUND THE UNITS SHALL BE ADJUSTED TO SITE SPECIFIC FOUNDATION DESIGNS.
- ALL CATCH BASINS ARE TO BE FUNCTIONAL WITH BINDER PAVEMENT. NO STRUCTURES SHALL BE SET TO FINISH ELEVATIONS UNTIL JUST PRIOR TO FINISH PAVING

LAYOUT / MATERIAL NOTES:

- REFER TO SHEETS C3.0 FOR EROSION CONTROL LAYOUT AND C1.1 FOR PROCEDURE.
- ALL PAVEMENT DIMENSION AND RADII REFER TO FRONT FACE OF BERMS AND CURBS.
- THE WEARING SURFACES OF ROADWAYS SHALL BE CLASS I, BITUMINUS CONCRETE, BASE COURSE, TYPE 1-1.
- DRIVEWAYS SHALL BE 1 1/2" BITUMINUS WEARING COURSE OVER, 1 1/2" BITUMINOUS BASE COURSE OVER, 8" OF GRAVEL MEETING M1.03.0, TYPE B.
- PAVEMENT SHALL BE PLANT MIXED AND LAID HOT TO A FINISHED DEPTH OF THREE INCHES IN TOW COURSES OF ONE AND ONE HALF INCHES EACH. EACH COURSE SHALL BE COMPACTED WITH NO LESS THAN A TEN TON ROLLER.
- SIDEWALKS SHALL BE BITUMINOUS CONCRETE.
- CURBING SHALL BE BE VERTICAL GRANITE CURB AND ASPHALT CURBING. SEE DETAILS C7.2.

GENERAL NOTES/REFERENCES:

- BASE MAPPING SHOWN ON THIS PLAN REFERS TO PLANS PREPARED BY R. WILSON AND ASSOCIATES, INC. ENTITLED "STRATTON HILL DEFINITIVE SUBDIVISION" DATED FEBRUARY 10, 2000 WITH REVISIONS THROUGH JUNE 2, 2004.
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UTILITY NOTES:

- WATER:
 - ALL WATER MAINS, VALVES, BLOWOFFS, FITTINGS AND OTHER APPURTENANCES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE AYER WATER DEPARTMENT.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION APPROVAL LETTER FOR THE SYSTEM CONSTRUCTION.
 - PROPOSED WATER MAIN SHALL BE 8"Ø, C900 PIPE.
 - WATER SERVICES SHALL BE 1"Ø POLYETHYLENE RATED FOR 200 PSI. EACH SERVICE TO BE EQUIPPED WITH A CORP STOP AT THE MAIN, A CURB STOP AND BOX, WATER METER AND PRESSURE REDUCING VALVE. TRACER WIRE SHALL BE RUN WITH THE SERVICE LINE.
 - WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE DEP GUIDELINES.
- ELECTRICAL, TELEPHONE & CABLE:
 - CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC DEPARTMENT FOR THE PROPOSED SERVICE EXTENSION.
 - CONTRACTOR TO PROVIDE ALL REQUIRED CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE SERVICE TO THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY.
 - QUANTITY, LOCATION AND SIZE OF PROPOSED TRANSFORMERS, PULL BOXES, SERVICE BOXES, TELEPHONE DISCONNECTS, ETC. SHALL BE SPECIFIED BY THE APPLICABLE UTILITY COMPANY.
 - OWNER SHALL PROVIDE THE REQUIRED EASEMENTS TO THE UTILITY COMPANY AS REQUIRED FOR THE INSTALLATION OF THE INFRASTRUCTURE.
- SEWER:
 - SEWER PIPE SHALL BE 8" PVC SDR-35 OR EQUAL
 - SEWER MANHOLES SHALL BE 4' DIAMETER PRECAST CONCRETE FOR H-20 LOADING AS DETAILED ON SHEET C7.1.
 - LATERALS SHALL BE 4"Ø PVC, SDR-35.
 - CLEANOUTS SHALL BE 4"Ø PVC, AS DETAILED ON SHEET C7.1.

EROSION & SEDIMENTATION CONTROL NOTES:

1.1 GENERAL REQUIREMENTS

- CONTRACTOR TO COMPLY WITH THE REQUIREMENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY DILLIS AND ROY CIVIL DESIGN GROUP, INC. CONTRACTOR SHALL PREPARE & FILE AN EPA NOI ONCE THE SWPPP IS COMPLETE.
- CONSTRUCTION SHALL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE ON SITE.
- AREAS WHICH ARE NOT TO BE DISTURBED SHALL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC. RETAIN EXISTING VEGETATION WHERE FEASIBLE.
- THERE SHALL BE NO STORAGE OF ANY KIND OF ANY CHEMICALS, PESTICIDES, FUELS AND OTHER POTENTIALLY TOXIC OR HAZARDOUS MATERIALS ON SITE.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED ON THE SITE.
- STUMPS AND OTHER WOOD DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE "POLICY ON THE DISPOSAL OF WOODWASTES" PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL AFFAIRS, DATED AUGUST 14, 1987.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.

1.2 MAINTENANCE/ PERFORMANCE STANDARDS

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL WITH AN ACCUMULATION OF 1/2" OR MORE. THE FOLLOWING ITEMS SHALL BE CHECKED IN PARTICULAR:
 - THE SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR TEARS, DETERIORATION AND UNDERMINING AND SHALL BE REPAIRED AS REQUIRED.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEED AS NEEDED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD, DIRT DEBRIS, ETC., ONTO THE PUBLIC ROAD. THIS MAY REQUIRE PERIODIC UP KEEP/RECONSTRUCTION OF THE TOP DRESSING WITH 2 INCH STONE AS CONDITIONS DEMAND AND OR CLEANOUT/REPLACEMENT OF STONE IF CLOGGING OR SEDIMENTATION OCCURS. ALL MATERIALS SPILLED DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO THE TOWN ROAD MUST BE REMOVED DAILY BY SWEEPING OR OTHER SUITABLE MEANS.
- ALL AREAS ON SITE SUBJECT TO EROSION/SEDIMENTATION SHALL BE INSPECTED ON A REGULAR BASIS. ALL ITEMS SPECIFIED ON THIS AND OTHER PLANS SHALL BE INSPECTED TO VERIFY THAT THEY ARE OPERATING AS DESIGNED AND INTENDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND REPAIR ALL STRUCTURES.
- THE ENTIRE DRAINAGE SYSTEM SHALL BE INSPECTED ON A REGULAR BASIS AND PRIOR TO AND IMMEDIATELY AFTER ANY RAINFALL EVENT WHILE THE SITE IS DISTURBED. CONTRACTOR SHALL PREVENT SEDIMENT FROM ENTERING THE DRAINAGE POND DURING CONSTRUCTION.

1.3 TEMPORARY MEASURES

- PLACE SILT FENCE WITH STRAW BALES AS SHOWN ON THE EXHIBIT PLAN 1. PLACE A SECOND SILT FENCE IN LOCATIONS AS DEPICTED ON THE EXHIBIT PLAN 1.
- IF LOAM IS PLACED OUTSIDE OF THE NORMAL GROWING SEASON SILT FENCE OR STRAW WADDLES SHALL BE PLACED BETWEEN THE LAWN AREA AND PAVEMENT.
- CONSTRUCT TEMPORARY STONE PAD AT EXIT TO THE SITE AS SHOWN ON THE EXHIBIT PLAN 1.
- DURING DRY PERIODS, PROVIDE MEANS FOR MITIGATION OF DUST, SUCH AS WATERING OF EXPOSED AREAS.
- STOCKPILE LOCATIONS SHALL BE WITHIN THE PROPOSED LIMIT OF WORK AND OUTSIDE ALL RESOURCE AREAS. SOIL STOCKPILES STORED FOR 24 HOURS OR LONGER WILL BE PROVIDED WITH ANY NECESSARY EROSION CONTROL. PILES LEFT FOR 21 DAYS OR MORE SHALL BE SEED.
- WASTE DISPOSAL RECEPTACLES AND TRAILERS SHALL BE USED FOR THE DISPOSAL OF CONSTRUCTION DEBRIS, WHICH SHALL BE REMOVED FROM SITE ACCORDING TO STATE, LOCAL AND FEDERAL GUIDELINES. CONSTRUCTION DEBRIS INCLUDES PAVEMENT, UTILITY, EARTH AND BUILDING MATERIALS THAT CANNOT BE REUSED. THE RECEPTACLES SHALL BE LOCATED ON-SITE OUTSIDE OF ALL RESOURCE AREAS AND COVERED.
- THE TEMPORARY MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION HAS OCCURRED AND ONLY AFTER APPROVAL BY THE BOLTON CONSERVATION COMMISSION AND THE ENGINEER.
- IF LEDGE IS ENCOUNTERED DURING THE CONSTRUCTION OF A TEMPORARY SETTLING BASIN, THE DOWNHILL EXTENTS OF THE BASIN SHALL BE BERMED, AS OPPOSED TO REMOVING SECTIONS OF THE ENCOUNTERED LEDGE.
- TEMPORARY CONSTRUCTION ACCESS ROAD SHALL BE "RECLAIMED ASPHALT PAVEMENT" (RAP). SIDE SLOPES ALONG THE ACCESS ROAD SHALL BE STUMP GRINDINGS, TO PREVENT WASHOUT AND EROSION DURING INTENSE RAINFALL EVENTS.

1.4 PERMANENT STABILIZATION

- SLOPES IN EXCESS OF 3 TO 1 SHALL BE HYDRO-MULCHED. LOADED (6" MIN.) AND SEEDED SLOPES SHALL BE PROTECTED FROM WASHOUT BY MULCHING OR OTHER ACCEPTABLE SLOPE PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- UNLESS OTHERWISE INDICATED HEREON ALL DISTURBED AREAS SHALL BE LOADED (6" MIN.) AND SEEDED WITH AN APPROPRIATE MIXTURE OF GRASSES SUITABLE FOR THE AREA. AREAS NOT STABILIZED BEFORE THE END OF THE FALL PLANTING SEASON SHALL BE HYDRO-MULCHED AND SEEDED IN THE SPRING. ALL DISTURBED AREAS DURING THE WINTER MONTHS WILL BE STABILIZED BY LIMITING THE SLOPES TO 3 TO 1 OR HYDRO-MULCHED, AS DESCRIBED ABOVE.

1.5 DEWATERING

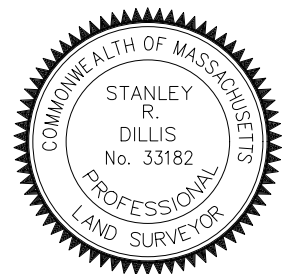
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING OPERATIONS DURING CONSTRUCTION.
- DEWATERING SHALL BE PERFORMED TO ACHIEVE CONSTRUCTION OF FOOTINGS, FOUNDATIONS, PAVEMENTS, AND OTHER SUBSURFACE UTILITIES AND APPURTENANCES IN DRY CONDITIONS.
- DEWATERING SHALL BE PERFORMED THROUGH THE USE OF IN TRENCH SUMP PUMPS, WELLS, DRAINS AND OTHER ITEMS NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN, OPERATE AND REMOVE ALL DEWATERING DEVICES AND APPURTENANCES AS REQUIRED FOR CONSTRUCTION. SUCH ACTIVITIES SHALL BE INCLUDED IN THE CONTRACTORS BID.
- THE FLOW FROM DEWATERING PUMPS SHALL BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO DISCHARGE TO A RESOURCE AREA. CONSTRUCT SEDIMENTATION BASIN WITH HAY BALES STAKED IN PLACE. BASINS TO BE 10-FEET X 10-FEET INTERIOR DIMENSIONS.
- DETENTION BASINS TO BE CLEANED AFTER UPGRADIENT AREAS ARE COMPLETELY STABILIZED.
- SEDIMENT BASIN LOCATIONS DEPICTED ON PLANS SHALL BE ADJUSTED BY THE CONTRACTOR AS REQUIRED FOR SITE SPECIFIC EROSION CONTROL.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED.
- TEMPORARY SEDIMENT BASINS ARE TO BE CLEANED ONCE 33% OF THE BASINS CAPACITY HAS BEEN REACHED

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PROFESSIONAL LAND SURVEYOR DATE _____



PROFESSIONAL ENGINEER DATE _____



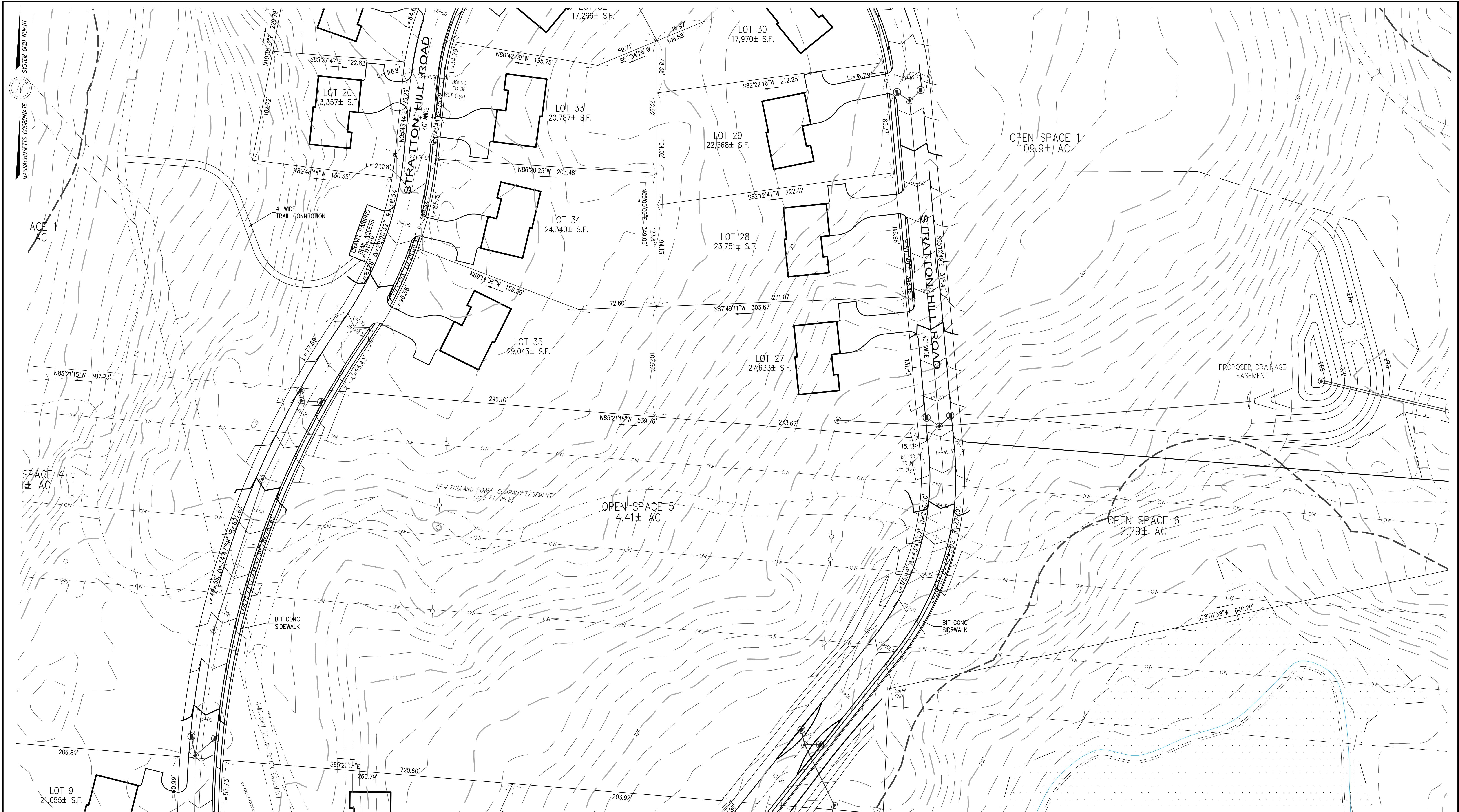
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AYER, MASSACHUSETTS
NOTES, ABBREVIATIONS & LEGEND
STRATTON HILL

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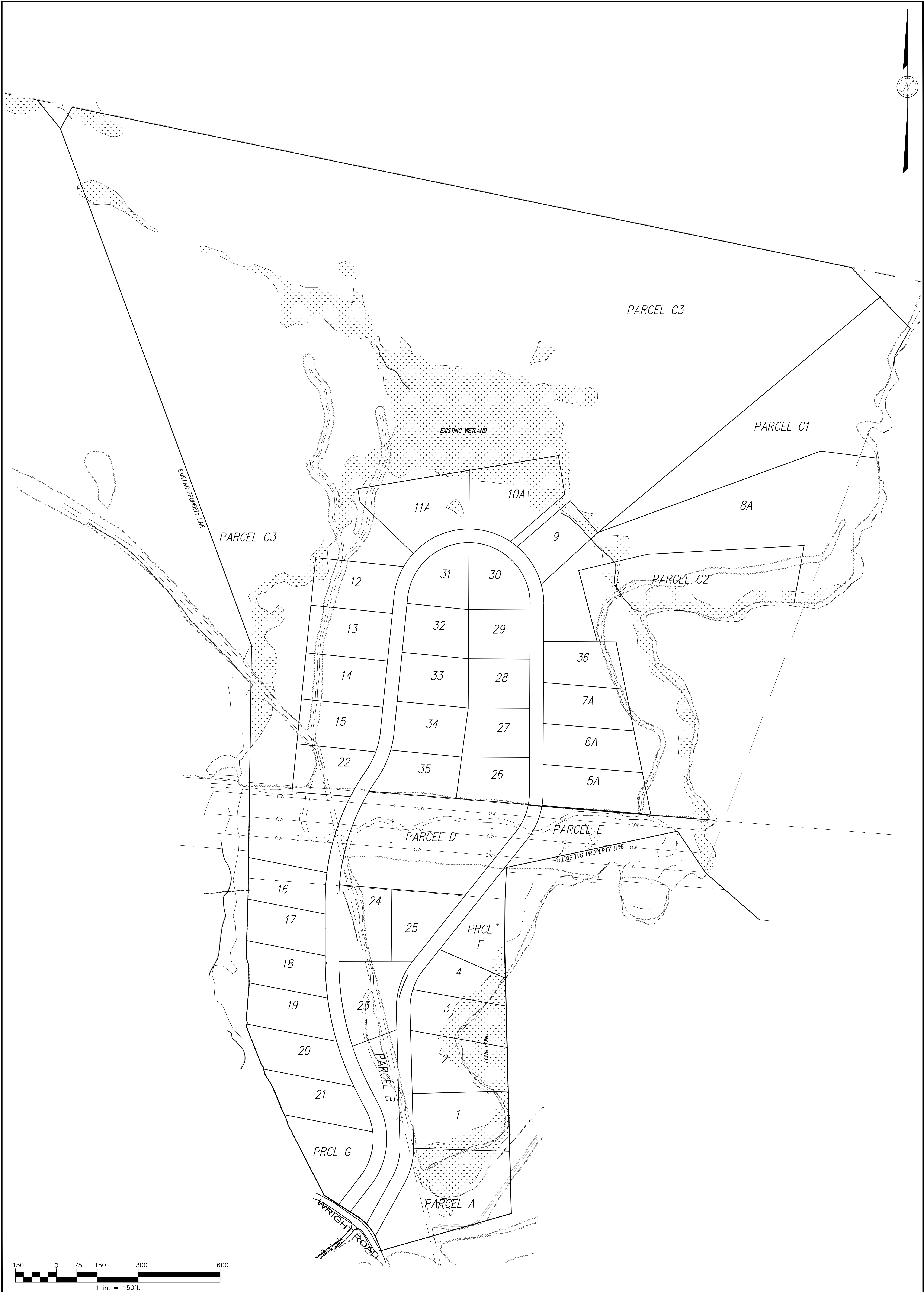
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AYER, MASSACHUSETTS
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DESIGN BY: FMM	DRAWN BY: SRD	CHECKED BY: FMM	SHEET NO. C2.2
DATE: 5/31/2022	JOB NUMBER: 6083	DRAWING NO. 6083-GRD	



PREPARED BY:



CIVIL ENGINEERS

LAND SURVEYORS

WETLAND CONSULTANTS

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PHONE: (978) 779-6091

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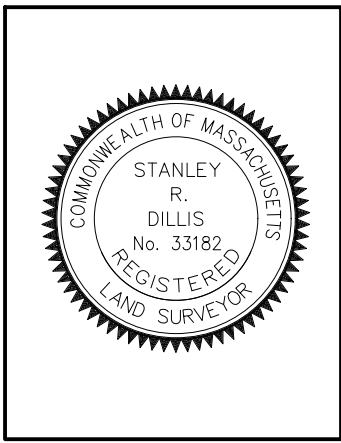
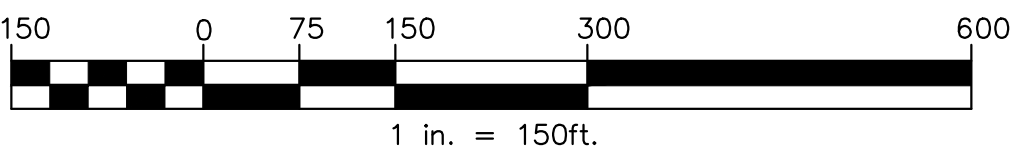
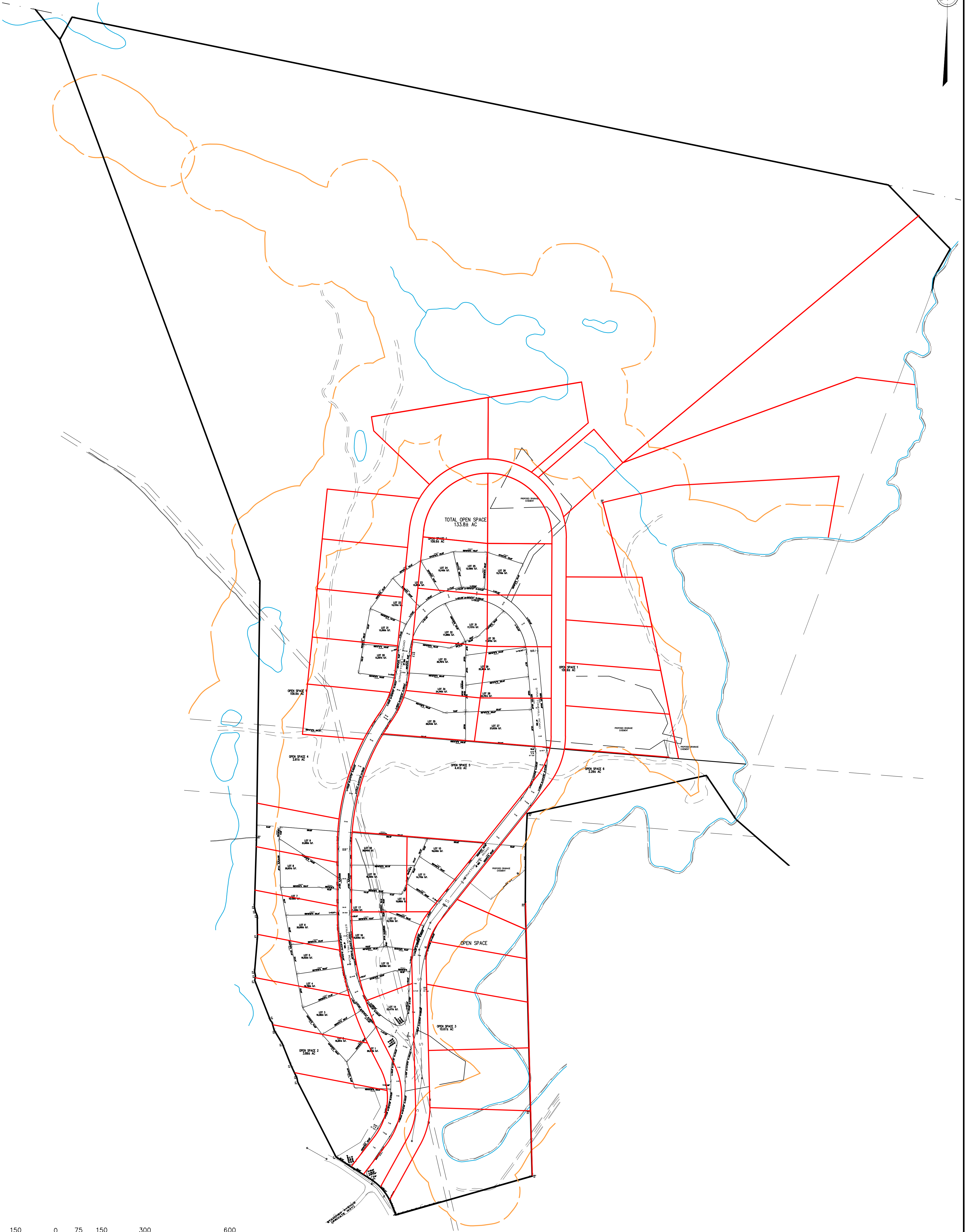
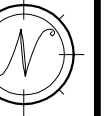


EXHIBIT 1: PREVIOUSLY APPROVED LOTS STRATTON HILL PL.829 OF 2005 AYER, MASSACHUSETTS			
NO.	DATE	DESCRIPTION	BY
1	7/6/22	GENERAL REVISIONS	SRD
2	7/22/22	REVISE ENTRANCE	SRD

DATE: 5/31/2022	JOB NO. 6083
DESIGN BY: SRD	DRAWING NO. 6083-APPROVED
DRAWN BY: SRD	SHEET NO. C3.0
CHECKED BY: SRD	



PREPARED BY:

DILLIS & ROY
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

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129 SKYFIELDS DR.
GROTON, MA

APPLICANT:
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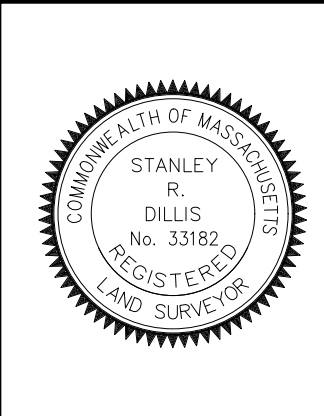


EXHIBIT 3: OPEN SPACE COMPARISON STRATTON HILL AYER, MASSACHUSETTS			
NO.	DATE	DESCRIPTION	BY
1	7/6/22	GENERAL REVISIONS	SRD
2	7/22/22	REVISE ENTRANCE	SRD
3	10/07/22	RE-CONFIGURE LOTS	SRD

DATE: 5/31/22	JOB NO. 6083
DESIGN BY: SRD	DRAWING NO. 6083-COMP
DRAWN BY: SRD	SHEET NO. C3.2
CHECKED BY: SRD	

CONVENTIONAL ZONING

ZONE: RESIDENCE A1

LOT AREA: 40,000 SF
LOT FRONTAGE: 150'
SETBACKS:
FRONT: 35'
SIDE: 15'
REAR: 30'



PREPARED BY:



DILLIS & ROY

CIVIL DESIGN GROUP

CIVIL ENGINEERS

LAND SURVEYORS

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GROTON, MA



EXHIBIT 2: CONVENTIONAL YIELD PLAN STRATTON HILL AYER, MASSACHUSETTS			
NO.	DATE	DESCRIPTION	BY
1	7/6/22	GENERAL REVISIONS	SRD
2	7/22/22	REVISE ENTRANCE	SRD

DATE: 5/31/2022	JOB NO. 6083
DESIGN BY: SRD	DRAWING NO. 6083-YIELD
DRAWN BY: SRD	SHEET NO. C3.1
CHECKED BY: SRD	