

Town of Ayer CONSERVATION COMMISSION

Town Hall ♦ One Main Street ♦ Ayer, MA 01432
Phone 978-772-8220 ext. 143 ♦ Fax 978-772-8208 ♦ concom@ayer.ma.us



MEETING AGENDA (In Person) Thursday, October 26, 2023

10:30am
RECEIVED
OCT 23 2023
TOWN OF AYER
TOWN CLERK *cl*

7:00 PM GENERAL BUSINESS / OPEN SESSION

- Approval of Meeting Minutes for October 12, 2023
- Public Input

Request for Determination of Applicability – Catania Spagna Corporation, 1 Nemco Way – Installation of an oil/water separator on an existing drain line.

Public Hearing – Notice of Intent DEP File number 100-048X, 71 Sandy Pond Road, North Country Developers, LLC – Construction of two (2) duplex dwelling units on a previously disturbed lot, within the buffer zone.

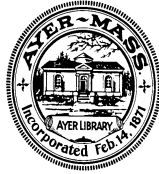
Request for Extension for Order of Conditions DEP file number 100-0444, Ayer Solar II, LLC

CONSERVATION OFFICE AND MEMBER UPDATES

Executive Session pursuant to MGL Chapter 30A, Section 21A, Exemption #6 (To consider the purchase, exchange, lease or value of real property) - Stratton Hill

9:00 PM ADJOURN

Next Scheduled Meeting: 7 PM, November 9, 2023



Town of Ayer Conservation Commission

Town Hall * One Main Street * Ayer, MA 01432 * 978-772-8220, ext. 143
Minutes for **10/12/2023**

Location: Ayer Town Hall, 1st Floor

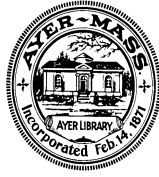
Present: Jon Schmalenberger (Chair), Mark Phillips (Vice-Chair), George Bacon (Member), Jen Amaya (Member), Jessica Gugino (Member/Clerk), Heather Hampson (Conservation Agent)

APAC taped: YES

**All Public Hearings are opened under the Wetlands Protection Act (MCL Ch. 131, section 40)
and under the Ayer Wetlands Bylaw (Article XXVI)**

7:00 PM – Open Meeting

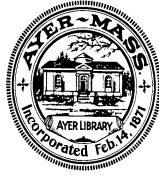
- **Confirmation of Agenda**
 - A discussion regarding the removal of erosion controls at Ayer Solar II was added.
 - **VOTE:** G. Bacon moved to confirm the agenda as amended; M. Phillips 2nd.
 - Motion approved unanimously 5-0.
- **Approval of Meeting Minutes**
 - **VOTE:** G. Bacon moved to accept minutes for 9/28/2023 as corrected; M. Phillips 2nd.
 - Motion approved unanimously 5-0.
- **Public Input**
 - None received.
- **Public Meeting: Request for Determination of Applicability (RDA) – Barnum Road over Bowers Brook, Ayer Department of Public Works (DPW)**
 - Oxana Fartushnaya and Ripal Shah, of Green International, were present on behalf of the applicant.
 - The bridge on Barnum Road over Bowers Brook was constructed in 1941 and is in need of rehabilitation work to address cracks and spalling in the concrete and other defects.
 - The minor repairs include:
 - repair of the existing bridge deck slab;
 - repair of the sidewalk beam;
 - repair of the sidewalk slab.
 - Wetland resources in the vicinity include riverfront and the bank to Bowers Brook as well as wetlands and Buffer Zone.
 - No work will take place within the wetlands or flood plain.
 - ADA standards will be complied with.
 - Where in need of repair, the road surface will be milled first before repaving with an overlay.
 - M. Phillips asked if repairing cracks on the underside of the bridge held a risk of material dropping into the water below.
 - Mr. Shah said a temporary shield would be employed.
 - G. Bacon asked if the same temporary shielding would be employed when repairs were made to the concrete posts and pier cap; Mr. Shah said yes.



Town of Ayer Conservation Commission

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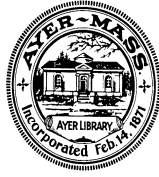
- No site walk was felt necessary.
- **VOTE:** G. Bacon moved to issue a Negative Determination of Applicability (DOA); M. Phillips 2nd.
 - Motion approved unanimously and the DOA was signed.
- **Public Hearing (cont'd.): Notice of Intent (NOI) – 201-205 West Main Street, DMG Investments LLC, MassDEP # 100-0485**
 - Drew Garvin, of Bohler Engineering, and Cian Hamill, of DMG Investments, were present.
 - The draft Order of Conditions (OOC) was reviewed.
 - It included Special Conditions requiring the installation of no disturb/no dumping conservation signs, as well as signs banning the use of salt-based chemicals for parking lot treatment of snow and ice.
 - H. Hampson will add an additional Special Condition to allow for the Conservation Agent to inspect the premises for compliance with snow removal and pavement treatment requirements.
 - This would apply to the period from the start of construction to one year after the issuance of a Certificate of Compliance (COC).
 - Mr. Hamill indicated that that was a satisfactory addition.
 - **VOTE:** G. Bacon moved to issue the OOC as amended; M. Phillips 2nd.
 - Motion approved unanimously 5-0 and the OOC was signed.
 - **VOTE:** G. Bacon moved to close the Public Hearing for 100-0485; M. Phillips 2nd.
 - Motion approved unanimously 5-0.
- **Discussion: Ayer Solar II, LLC, 0 Washington Street, Rohit Garg, MassDEP # 100-0444**
 - Nick Pauling, of Goldsmith, Prest & Ringwall (GPR), was present on behalf of the Ayer Solar II project.
 - As discussed at ConCom's 9/28 meeting, the erosion controls in the immediate vicinity of the outlet for the stream crossing culvert have been removed.
 - Mr. Pauling wanted to discuss the removal of additional silt fencing and haybales throughout the rest of the project, along with the removal of orange snow fencing where installed.
 - A map of the project was displaying showing in red the areas where the applicant is requesting permission to remove the erosion controls now.
 - These areas are now well vegetated and Environmental Monitor Rhianna Sommers was consulted and has indicated she did not have any issues with their removal.
 - The Commission was in agreement that the erosion controls in the red-lined areas could be removed.
 - In addition to removing all silt fencing and twine, the remaining degraded haybales will be broken up and spread/broadcast across the surrounding area.
 - Meanwhile, Mr. Pauling said that erosion controls will be left in place on two adjoining sections of the access road entering the project area from Washington Street.



Town of Ayer Conservation Commission

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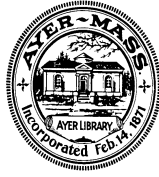
- To eliminate the need for another appearance before ConCom, Mr. Pauling asked the Commission if it would also approve in advance the removal of the erosion controls in these two downhill sections once specific conditions had been met:
 - the section from Washington Street to the first wetland replication area: once the final paving is done (which should be any day now), the silt fencing and twine will be removed and the haybales broken up and spread;
 - the section proceeding from the first replication area to the second replication area: once the Building Inspector has signed off on approving the retention wall as constructed, the silt fencing, twine, and the haybales would all be removed in their entirety from this area.
- The Commission was in agreement that these controls could be dismantled once the conditions for each section have been met.
- Mr. Pauling then raised the issue of whether the Environmental Monitor needed to continue weekly inspections of the site, given that work on site is largely complete, and once erosion controls are removed, Ms. Sommers will have nothing left to inspect.
 - H. Hampson said it would be useful to have Ms. Sommers inspect the areas where controls had been installed and were now removed, given the uncertainty of how intrusive the removal process may be.
 - She also raised the question of how much the haybales will need to be hacked up in some areas, and the related impact.
 - In particular, those areas closer to wetlands will be more sensitive, and she asked who would be making those decisions.
 - Mr. Pauling said this would be a “gametime decision” based on the conditions of the haybales throughout the site.
 - He agreed that they would seek guidance from Ms. Sommers about this process.
 - J. Schmalenberger asked that Ms. Sommers be contacted for her assessment prior to the removal of controls and Mr. Pauling said he would pass this on to the contractor who would do this work.
 - It was decided that once all of the erosion controls have been removed, Ms. Sommers should be retained to perform at least one final inspection afterward to confirm ground conditions are satisfactory, and that this inspection should take place roughly a week after the removal of the controls.
 - If no issues have arisen from the removals, then weekly monitoring can cease after that final inspection.
- Mr. Pauling raised the possibility of whether the Commission might consider a request to issue a Partial COC to close out most of the permit.
 - He noted that a full COC cannot be issued yet given that the wetland replication areas require another year of monitoring following a second growing season.
 - H. Hampson noted that she hasn’t seen evidence of the successful planting of red maples in those areas yet.



Town of Ayer Conservation Commission

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Minutes for **10/12/2023**

- The annual replication area inspection report, from Oxbow Associates, is due soon and it will be interesting to see if they have documentation of the maples required in the replication plan.
 - Nothing further was discussed regarding a Partial COC at this point.
- Finally, Mr. Pauling indicated that the project will be submitting a request for an Extension of the OOC, to be considered at ConCom's 10/26 meeting.
 - The current OOC expires on 11/23/2023.
 - Mr. Pauling said they expect all work to be completed by that time, but in order to cover themselves in case of delays (e.g. the paving), as well as to have the opportunity to address anything further that may need to be done in the replication areas next spring, they are asking for a one year extension.
 - Mr. Pauling will not need to be at the 10/26 meeting.
- In sum, the things agreed to at this meeting were:
 - the removal/spreading of erosion controls indicated in red on the map;
 - permission for the future removal/spreading of erosion controls along the access road from Washington Street to the first replication area, once the final paving is complete;
 - permission for the future complete removal of all erosion controls along the access road between the first and second replication areas, once the Building Inspector has signed off on the retaining wall;
 - approval to cease the requirement for weekly inspections by the Environmental Monitor, Rhianna Sommers, following her final inspection to confirm no new problems resulted from the removal of all erosion controls.
- **Conservation Commission Office and Member Updates**
 - Newton Street Festival (rescheduled to Sunday, 10/8 because of weather)
 - H. Hampson said the festival went well, and M. Phillips was able to help her for part of the afternoon.
 - They were able to get around 10 new sign-ups for residents, including new residents, interested in participating in the Friends of Pine Meadow volunteer group once that takes off.
 - Wetland Trainings/Pond Management for Invasive Weeds
 - H. Hampson participated in a training session in Stow conducted by the Society of Wetland Scientists.
 - Part of the focus was on the increasing impact of invasive species due to climate change.
 - During the training session, H. Hampson spoke with the Conservation Agent from Harvard, MA.
 - The Agent said that MassDEP would not be renewing Harvard's permit for the annual pumphouse-facilitated drawdown of Bare Hill Pond as a means of invasive weed control.
 - Apparently DEP no longer wants to see drawdowns used for this purpose.



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- As this relates to a suggestion made by an Ayer resident for how ConCom manages its ponds, H. Hampson will check with the Agent in Shirley – which also employs drawdown – as well as MassDEP directly for further clarification of DEP’s policy change.
- H. Hampson also attended a statewide municipal conference conducted by MACC (Mass. Association of Conservation Commissions) on developing municipal climate action plans.
 - Examples of such plans from Martha’s Vineyard, Natick, and Springfield were studied.
- Flannagan Pond Feasibility Study
 - The DPW sponsored a public input forum at Town Hall on Wednesday, 10/4, with the consultant from Tighe & Bond that performed the study.
 - Three potential access sites for a canoe/kayak public boat launch were identified and discussed.
 - The forum was well attended.
 - H. Hampson is also investigating what activities are allowed and what restrictions can be employed on Ayer ponds (this instigated by a jet ski use inquiry she recently received).
 - Activities on Great Ponds (e.g. Sandy and Long) are regulated by the State.
 - The Town, however, can consider adopting its own regulations for activities on Ayer’s other ponds and this might be a good winter project for the Commission.
- Causeway bridge between Sandy and Flannagan ponds
 - J. Schmalenberger said a resident brought to his attention that beavers have started damming under this bridge, impeding the flow of water from Sandy into Flannagan Pond.
 - Since this is a humanmade structure, he contacted the DPW and they cleared the beaver dam that afternoon.
- **7:55 PM – Adjourn Open Meeting to Enter into Executive Session, later to adjourn from Executive Session at 8:23 PM**
 - J. Gugino moved to adjourn from Open Session and to enter into Executive Session pursuant to MGL Chapter 30A, Section 21A, Exemption #6: To consider the purchase, exchange, lease or value of real property, if such discussions may have a detrimental effect on the negotiating position of the governmental body and a person, firm, or corporation; and to adjourn for the evening from Executive Session without returning to Open Session; M. Phillips 2nd.
 - Motion approved unanimously by Roll Call vote: J. Amaya, Aye; J. Gugino, Aye; G. Bacon, Aye; M. Phillips, Aye; J. Schmalenberger, Aye.

Minutes Recorded and Submitted by Jessica G. Gugino, Clerk

Date / Signature of Approval: _____

Request for Determination of Applicability

**Catania Spagna Corporation
1 Nemco Way
Ayer, Massachusetts
Map 17 Lot 21**

October 18, 2023

KMA KEACH-NORDSTROM ASSOCIATES, INC.

October 18, 2023

Town of Ayer Massachusetts
Conservation Commission
One Main Street
Ayer, Massachusetts 01432

**RE: Request for Determination of Applicability
Catania Oils Railway Spill Containment Improvements
1 Nemco Way
Ayer, Massachusetts 01432**

Dear Members of the Commission:

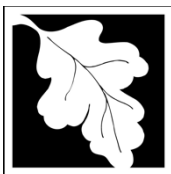
On behalf of the Applicant, Catania Oils, Keach Nordstrom Associates, Inc. (KNA) respectfully submits the enclosed Request for Determination of Applicability (RDA) Application with the Ayer Conservation Commission. The proposed work entails installation of an oil/water separator within the existing drainage easement.

The filing is submitted pursuant to the Massachusetts Wetlands Protection Act (M.G.L.c.131 §40) and its implementing Regulations (310 CMR 10.00, the Act Regulations), and the Town of Ayer Wetland Protection Regulations. The proposed activities are located within the 100-foot Wetland Buffer. The proposed project limits are depicted on the attached site plan.

Should you have any questions regarding this RDA or require additional information, please contact me at 603-627-2881 or at bsouza@keachnordstrom.com. Thank you for your consideration of this RDA.

Respectfully,

Bridget E. Souza, EIT
Senior Project Engineer
Keach-Nordstrom Associates, Inc.



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality _____

A. General Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

First Name _____ Last Name _____

Address _____

City/Town _____ State _____ Zip Code _____

Phone Number _____ Email Address _____

2. Property Owner (if different from Applicant):

First Name _____ Last Name _____

Address _____

City/Town _____ State _____ Zip Code _____

Phone Number _____ Email Address (if known) _____

3. Representative (if any)

First Name _____ Last Name _____

Company Name _____

Address _____

City/Town _____ State _____ Zip Code _____

Phone Number _____ Email Address (if known) _____

B. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

Street Address _____ City/Town _____

Latitude (Decimal Degrees Format with 5 digits after decimal e.g. XX.XXXXX) _____ Longitude (Decimal Degrees Format with 5 digits after decimal e.g. -XX.XXXXX) _____

Assessors' Map Number _____ Assessors' Lot/Parcel Number _____

b. Area Description (use additional paper, if necessary):

c. Plan and/or Map Reference(s): (use additional paper if necessary)

Title _____ Date _____

Title _____ Date _____

[How to find Latitude and Longitude](#)

[and how to convert to decimal degrees](#)



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

B. Project Description (cont.)

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability Ayer

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

C. Determinations

1. I request the Ayer Con. Comm. make the following determination(s). Check any that apply:
Conservation Commission

- a. whether the area depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the boundaries of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- c. whether the Activities depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any municipal wetlands' ordinance or bylaw of:

Ayer

Name of Municipality

- e. whether the following scope of alternatives is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

D. Signatures and Submittal Requirements


I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.


Signature of Applicant

10/18/23
Date


Signature of Representative (if any)

10/18/23
Date

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WPA Form 1 – Request for Determination of Applicability

I. General

Introduction

General Site Description

Wetland Resource Areas

Summary

II. Appendix A

Figure 1: USGS Topographic Map

Figure 2: FEMA Flood Insurance Rate Map

Affidavit of Service

Abutter's Map & List

Abutter Notification Form

III. Appendix B

Site Photos

IV. Appendix C

Site Plans, prepared by KNA, dated October 18, 2023

I. General

Introduction

On behalf of the Applicant, Catania Oils Inc., Keach Nordstrom Associates, Inc. has prepared and filed the attached Request for Determination of Applicability (RDA) with the Ayer Conservation Commission for the installation of an oil/water separator unit. This effort is proposed to provide a layer of protection for the Wetland area should a cooking oil spill should occur within Catania Oils Railway building. The separator will be constructed on top of an existing twin 12" drain pipes within the drainage easement located on Town of Ayer property. The proposed activity is located within the 100-foot Wetland Buffer. This Wetland Resource Area is protectable under the *Massachusetts Wetlands Protection Act* (M.G.L.c.131, s.40) and its implementing regulations (310 CMR 10.00). The proposed work is depicted in the attached Site Plan Set.

General Site Description

Catania Oils Inc. is situated at 1 Nemco Way, Ayer, MA 01432. It is identified as Ayer Assessor's Map 17, Lot 21. In total, the lot area is 9.820-acres or 427,780 square feet. The property abuts Westford Road to the west and Nemco Way to the north, with similar developments to the south and east, and north. The lot has two existing driveway entrances: one from Westford Road and the other from Nemco Way. The site is fully developed, with a manufacturing/warehouse building, associated parking, loading areas, and utilities. Recently, a building addition and associated stormwater improvements were constructed, as part of an approved Site Plan Approval obtained in 2021.

Stormwater from the property, and offsite flows, are mitigated through treatment devices and/or an underground dual detention/infiltration pond. After treatment, runoff is directed via pipe and overland flow to existing off-site wetlands. A portion of existing development is situated within the Zone II designation area and a small portion of the southern corner of the site is located within the FEMA flood zone A designation area.

Wetland Resource Areas

Based on MassGIS mapping, aerial interpretation, and wetland flagging performed by Epsilon Associates, Inc. in December 2020, Wetland Resource Areas proximate to the project site include the 100-foot Wetland Buffer Area.

Summary

The Applicant respectfully requests that the Commission issue a Negative Determination of Applicability, with conditions as may be appropriate, allowing the work to proceed as described.

II. Appendix A



KMA KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110
 Phone (603) 627-2881

TITLE:

USGS EXHIBIT PREPARED FOR:
CATANIA SPAGNA CORPORATION
 MAP 17; LOT 21 - I NEMCO WAY - AYER, MASSACHUSETTS

DATE: 09/20/2023

JOB. NO.23-0621-I

SCALE: 1" = 2,000'

SHEET 1 OF 1

National Flood Hazard Layer FIRMette



42°34'6.16"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

USGS The National Map: Orthoimagery, Data refreshed April, 2019.

42°33'39.67"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| MAP PANELS | | Profile Baseline |
| | | Hydrographic Feature |
| | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
| | | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location. |

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/23/2020 at 4:07:23 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

71°32'15.61"W

71°31'38.16"W

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act
and
Town of Ayer Wetlands Bylaw and Regulations

To be submitted to the Massachusetts Department of Environmental Protection (MassDEP) and the Ayer Conservation Commission when filing a Notice of Intent.

I, Bridget Souza, herby certify under the pains and penalties of perjury that
(Name)
on October 19, 2023 I gave notification to abutters in compliance with the second
(Date)
paragraph of the Massachusetts General Laws Chapter 131, Section 40, and the MassDEP Guide to
Abutter Notification dated April 8, 1994, in connection with the following matter:

A Request for Determination of Applicability filed under the Massachusetts Wetlands
Protection Act and said ordinance by Keach Nordstrom Associates, Inc. with the Ayer
Conservation Commission on October 19, 2023 for the property located at 1 Nemco
Way, Ayer, MA.

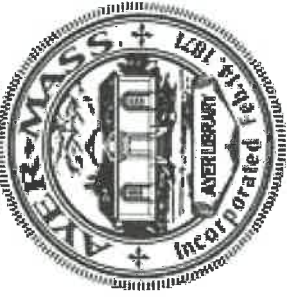
The form of notification, and a list of the abutters to whom it was given and their addresses, are
attached to this Affidavit of Service.


Name (Sign)

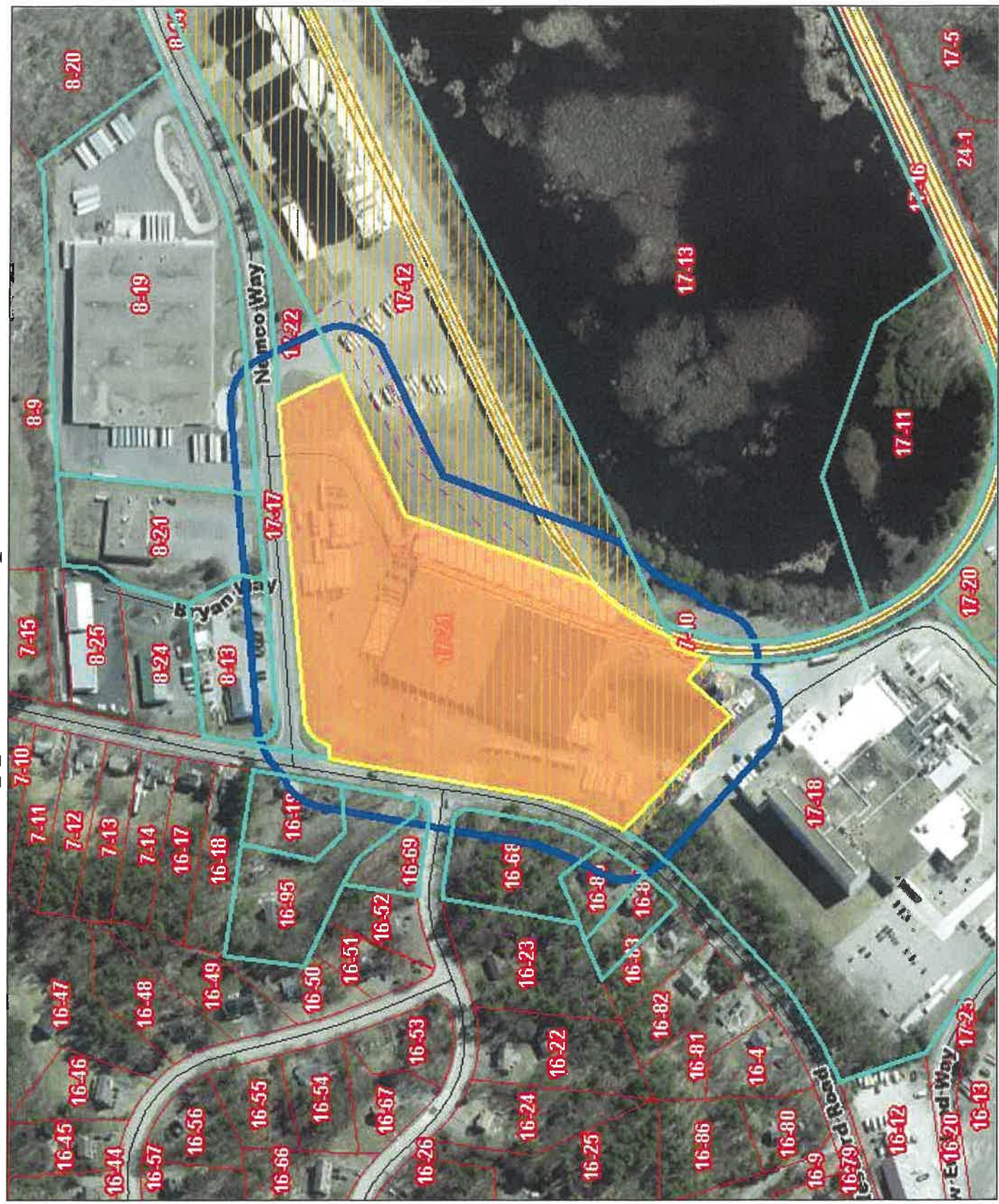
Bridget Souza
Name (Print)

October 19, 2023
Date

MRMapper WebMap



- Parcel Boundaries
- Other Legal Features**
 - Easements
- Miscellaneous Features**
 - Former Shore
 - Future Lot
 - Island
 - Traffic Island
 - Water
- MRPC Communities
- Surrounding Communities
- Interstate Routes**
 - Interstate Routes
- US & State Routes**
 - US & State Routes
- Other Roadways**
 - Other Roadways
- Active Rail Lines**
 - Commuter Rail Line
 - Other Active Rail Lines



DISCLAIMER: The Assessor's data were developed for tax valuation purposes only and are not derived from legal surveys or legal descriptions. The Town of Ayer & the MRPC explicitly disclaims any representations and warranties as to the accuracy, timeliness, or completeness of the Assessor's data. The Assessor's data were created from multiple Town, County, State and Federal sources, and such sources could contain errors. The Assessor's data should not be used for any purpose requiring exacting measurement of distance or direction. In no event will the Town of Ayer, the MRPC or their officers or employees be liable for any losses or damages that might arise from the use of the Assessor's data. The Town of Ayer & the MRPC shall not be liable for any damages, including reasonable attorney's fees, arising from the use of this data.



BURGESS KENNETH E JR
S/O JOSHUA P BEAUSOLEIL
46 WESTFORD ROAD
AYER, MA 01432

COMMONWEALTH OF MASSACHUSETTS
PROPERTY DIVISION
280 NORTHERN AVENUE
BOSTON, MA 02210

DAMATO DANIEL L - TE
JACQUELINE C DAMATO
40 WESTFORD RD
AYER, MA 01432

TOWN OF AYER
1 MAIN STREET
AYER, MA 01432

CARGILL A.M. HOLDCO LLC
C/O RYAN LLC
PO BOX 06019
CHICAGO, IL 60606

3 NEMCO REALTY CORP
3 NEMCO WAY
AYER, MA 01432

TOWN OF AYER
1 MAIN ST
AYER, MA 01432

JAR REALTY CORP
3 NEMCO WAY
AYER, MA 01432

PHON SAMANG
MALA PHON
44 WESTFORD ROAD
AYER, MA 01432

NEMCO WAY AYER LLC
390 CAMBRIDGE STREET
CAMBRIDGE, MA 02141

CARGILL A.M. HOLDCO LLC
C/O RYAN LLC
PO BOX 06019
CHICAGO, IL 60606

PATTENDEN MICHAEL G
42 WESTFORD ROAD
AYER, MA 01432

NASOYA FOODS USA LLC
C/O PULMUONE FOODS USA INC
2315 MOORE AVENUE
FULLERTON, CA 92833

M DELCON REALTY LLC
52 HAYS ROAD
WALTHAM, MA 02154

TOWN OF AYER
1 MAIN STREET
AYER, MA 01432

TOWN OF AYER
1 MAIN ST
AYER, MA 01432

**Notification to Abutters per the Massachusetts Wetlands Protection Act
and the Town of Ayer Wetlands Protection Bylaw**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

A. The name of the applicant is: Catania Oils Inc.

B. The name of the land owner is JAR Realty Corp

C. The address of the lot where the resource area is located or activity is proposed is:

1 Nemco Way, Ayer, MA 01432

D. The applicant has filed: (check one)

Notice of Intent

Request for an Amendment to an Order of Conditions

Abbreviated Notice of Intent

Abbreviated Notice of Resource Area Delineation

X - Request for Determination of Applicability

The applicant has filed the above application with the Ayer Conservation Commission and is seeking:

confirmation of resource area delineation, or

X permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (Massachusetts General Law Chapter 131, Section 40).

E. Copies of the above referenced document/filing may be examined at the Conservation Commission Office, Town Hall, 1 Main Street, Ayer, MA, between the hours of 10:00 a.m. and 1:00 p.m., Wednesdays and Fridays. Please schedule an appointment by calling (978) 772-8249.

F. Copies of the above referenced document/filing may be obtained from: (check one)

Applicant (contact information: _____)

Owner (contact information: _____)

Applicant's Representative (contact information: _____)

X Ayer Conservation Administrator 978-772-8249 (Wednesdays & Fridays 9:30a.m.-1:30p.m.)

G. Project Description:

Project proposes to install an oil/water separator unit on an existing drain line, within the drainage easement. The drainage easement is located within the Town property and within the 100' wetland buffer. This unit will capture cooking oil, preventing it from entering the wetlands, should a spill occur within the railway building of Catania Oils.

H. Information regarding the date, time, and place of the hearing may be obtained from the Ayer Conservation Office by calling 978-772-8249 between the hours of 9:30 a.m. and 1:30 p.m., Wednesdays and Fridays.

Note: Notice of the public hearing, including its date, time, and place, will be published at least five (5) business days prior to the hearing date in either *The Public Spirit* or *The Lowell Sun* newspapers. Such notice will also be posted at the Ayer Town Hall no fewer than forty-eight (48) hours in advance of the meeting.

Note: You also may contact the Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act at (508) 792-7650.

III. Appendix B

Photo No. 1: Looking north-east towards railway building, railway system, and wetlands buffer.



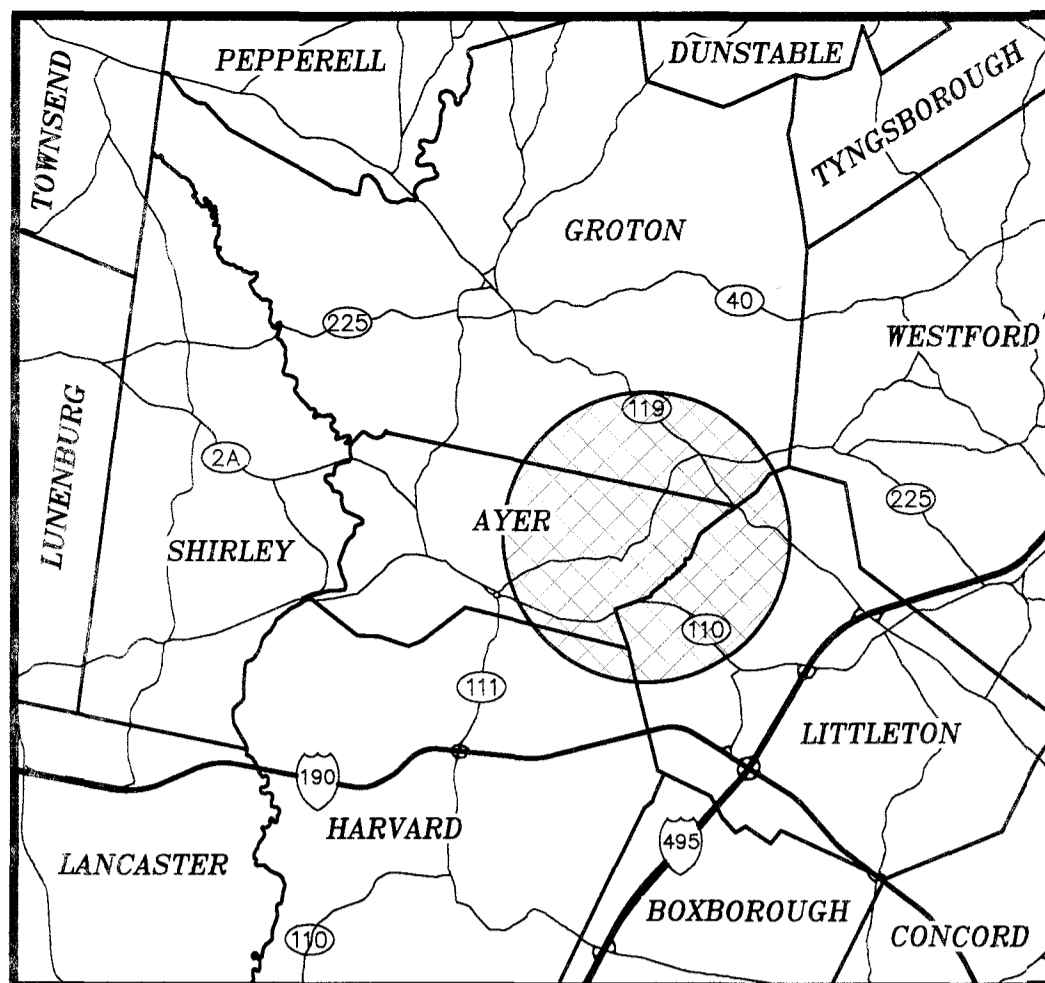
Photo No. 2: Looking north-west at railway building, approximately within the drainage easement.



Photo No. 3: Looking south-east at wetlands buffer area.



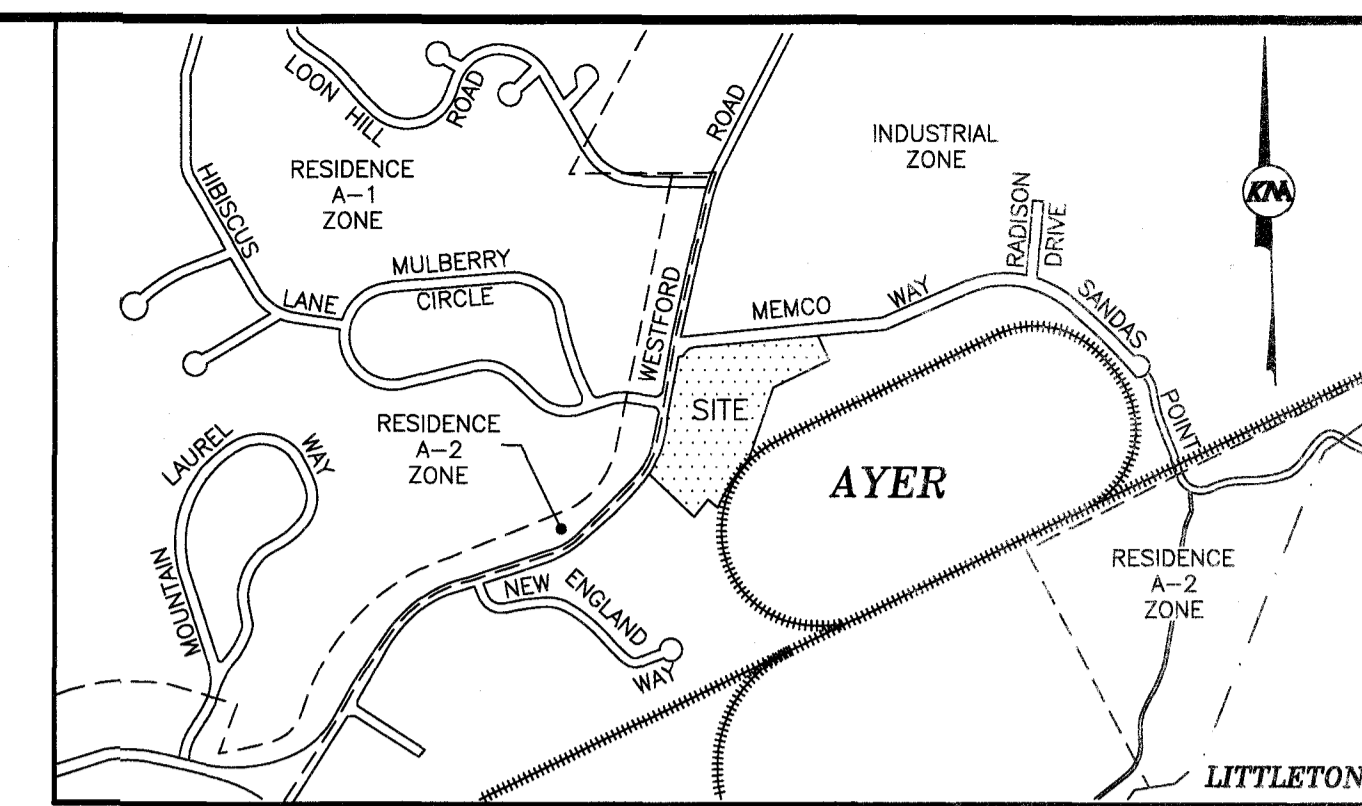
IV. Appendix C



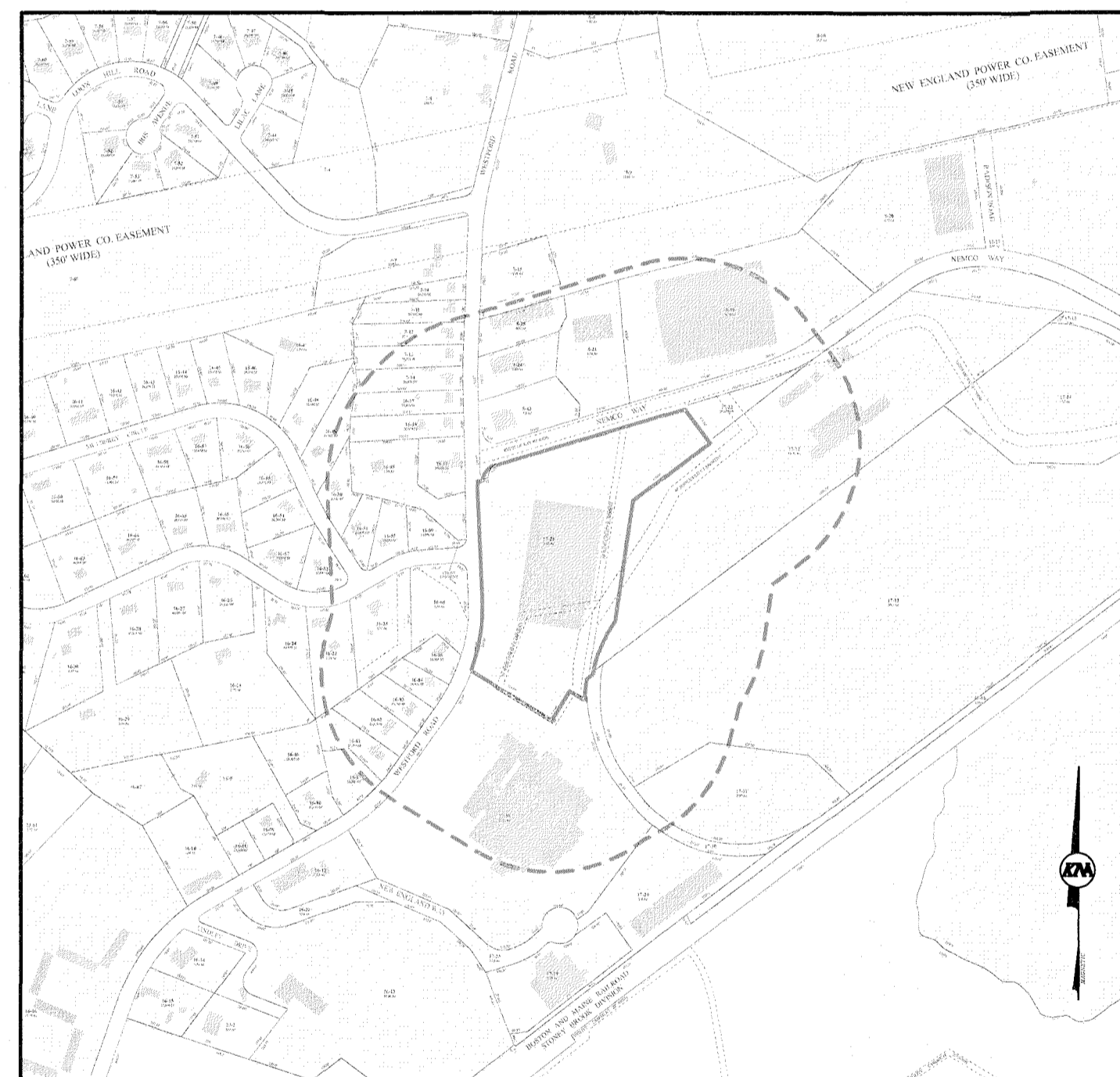
VICINITY PLAN
NOT TO SCALE

NON-RESIDENTIAL SITE PLAN CATANIA SPAGNA CORPORATION

MAP 17 LOT 21 1 NEMCO WAY AYER, MASSACHUSETTS RAILWAY SPILL CONTAINMENT



LOCATION PLAN
1" = 1000'

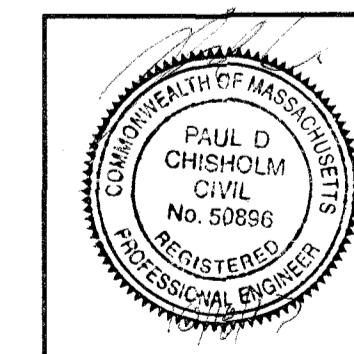
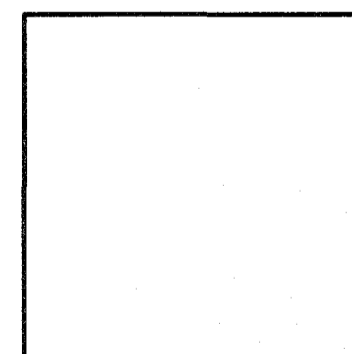


EXISTING FEATURES WITHIN 500-FT
1" = 500'

APPLICANT:
CATANIA SPAGNA CORPORATION
1 NEMCO WAY
AYER, MA 01432

OWNER:
JAR REALTY CORPORATION
3 NEMCO WAY
AYER, MA 01432

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

OCTOBER 18, 2023
PROJECT NO. 23-0621-1

SHEET TITLE

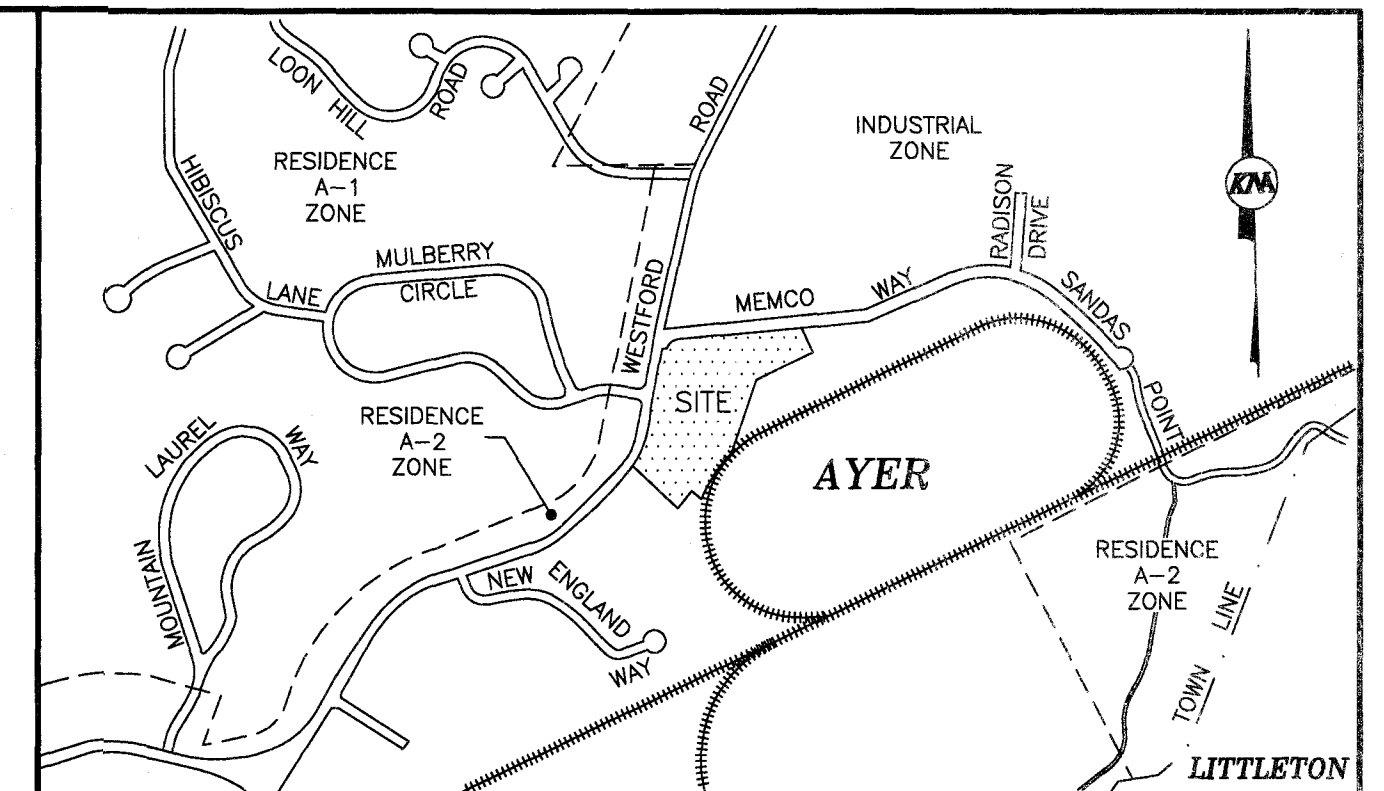
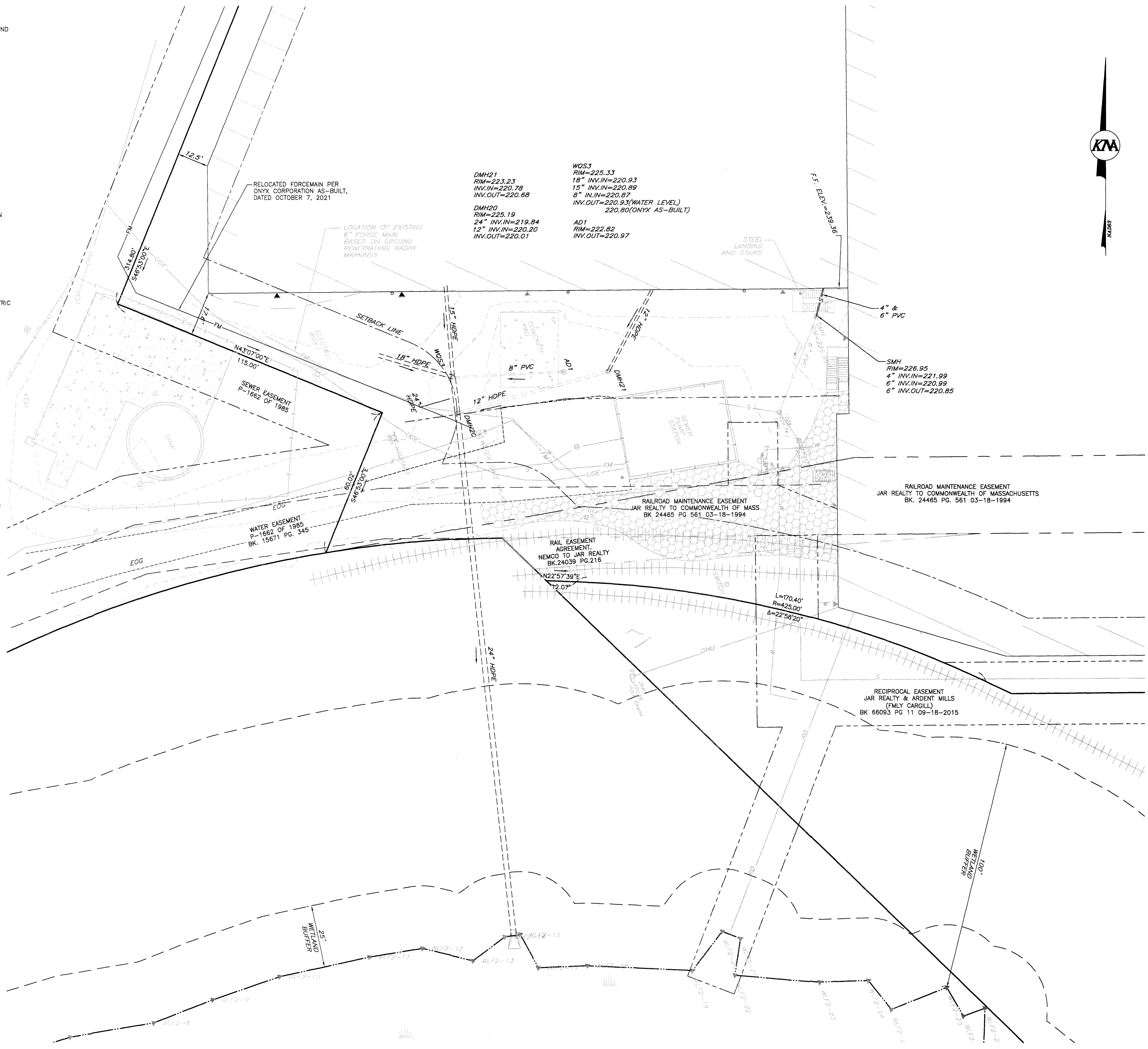
EXISTING CONDITION PLAN
NON-RESIDENTIAL SITE PLAN
DRAINAGE & UTILITY PLAN
EROSION CONTROL PLAN
CONSTRUCTION DETAILS

SHEET No.

1
2
3
4
5 & 6

LEGEND

- GB-F GRANITE BOUND FOUND
- IP-F IRON PIN FOUND
- ⊕ BENCHMARK
- ⊕ UTILITY POLE SIGN
- ⊕ LIGHT POLE SIGN
- ⊕ SPOT LIGHT
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER SHUT OFF
- ⊕ SEWER MANHOLE
- ⊕ DRAINAGE MANHOLE
- ⊕ CATCH BASIN
- ⊕ FLARED END SECTION
- ⊕ ABUTTER LINE
- ⊕ PROPERTY LINE
- ⊕ WETLAND
- ⊕ FLOOD LINE
- ⊕ RAILROAD TRACKS
- ⊕ CHAIN LINK FENCE
- ⊕ GUARDRAIL
- ⊕ UGE UNDERGROUND ELECTRIC
- ⊕ OHU OVERHEAD UTILITIES
- ⊕ GAS LINE
- ⊕ WATER LINE
- ⊕ SEWER LINE
- ⊕ SEWER FORCE MAIN
- ⊕ DRAINAGE LINE
- ⊕ TRENCH
- ⊕ RETAINING WALL
- ⊕ CAP COD BURM
- ⊕ EDGE OF PAVEMENT
- ⊕ EDGE OF GRAVEL
- ⊕ 10' CONTOUR
- ⊕ 2' CONTOUR
- ⊕ STONEWALL
- ⊕ SOIL LINE
- ⊕ SETBACK
- ⊕ EASEMENT
- ⊕ SOIL TYPE INDICATOR
- 53A RIP RAP/STONES

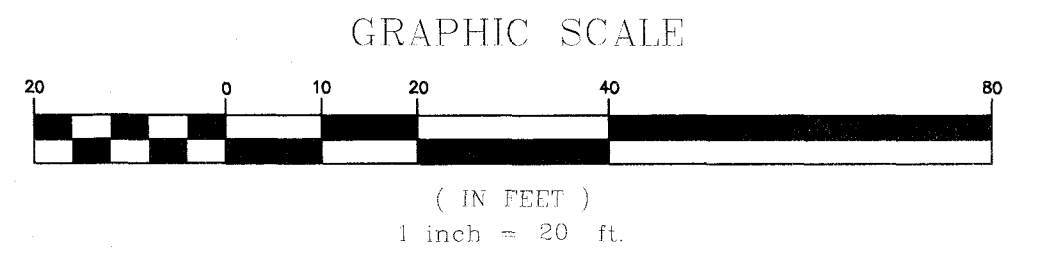


VICINITY PLAN
1" = 1000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS AND THE CONSTRUCTED SITE IMPROVEMENTS SHOWN ON THE SITE PLAN APPLICATION PLAN SET, APPROVED MAY 12, 2021, PRESENT ON ASSESSORS MAP 17 LOT 21 IN AYER, MA, AND NO OTHER PURPOSE.
 - TOTAL SITE AREA = 427,780 S.F. OR 9.820 ACRES.
 - OWNER OF RECORD:
JAR REALTY CORPORATION
3 NEMCO WAY
AYER, MA 01432
 - PRESENT ZONING: INDUSTRIAL
MINIMUM BUILDING SETBACKS:
- FRONT 25 FT
- SIDE 25 FT (EXCEPT 50 FT ABUTTING A RESIDENTIAL DISTRICT)
- REAR 30 FT
- WETLAND 100 FT
 - THE SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL AND MAY OF 2020 AND AN AS-BUILT FIELD SURVEY PERFORMED IN APRIL OF 2023.
 - HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
 - NORTH ORIENTATION IS NAD83.
 - WETLANDS MAPPING WAS PERFORMED BY EPSILON ASSOCIATES, INC. IN DECEMBER 2020.
 - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF AYER MASSACHUSETTS, MIDDLESEX COUNTY COMMUNITY NUMBER 25017C0208E PANEL NUMBER 208 OF 656 EFFECTIVE DATE JUNE 4, 2010 INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE "A" WITH NO BASE FLOOD ELEVATIONS DETERMINED.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN, PRIOR TO ANY EXCAVATION ON SITE THE OWNER OR CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS, OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



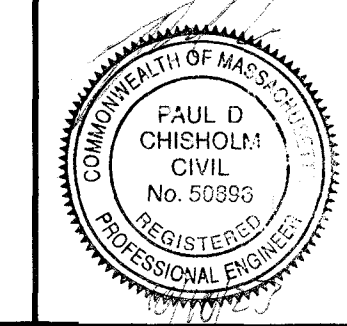
EXISTING CONDITIONS PLAN
CATANIA SPAGNA CORPORATION
MAP 17 LOT 21
1 NEMCO WAY
AYER, MASSACHUSETTS
MIDDLESEX COUNTY

OWNER: JAR REALTY CORPORATION 3 NEMCO WAY AYER, MA 01432 M.C.R.D. BK. 56185 PG. 107	APPLICANT: CATANIA SPAGNA CORPORATION 1 NEMCO WAY AYER, MA 01432
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KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

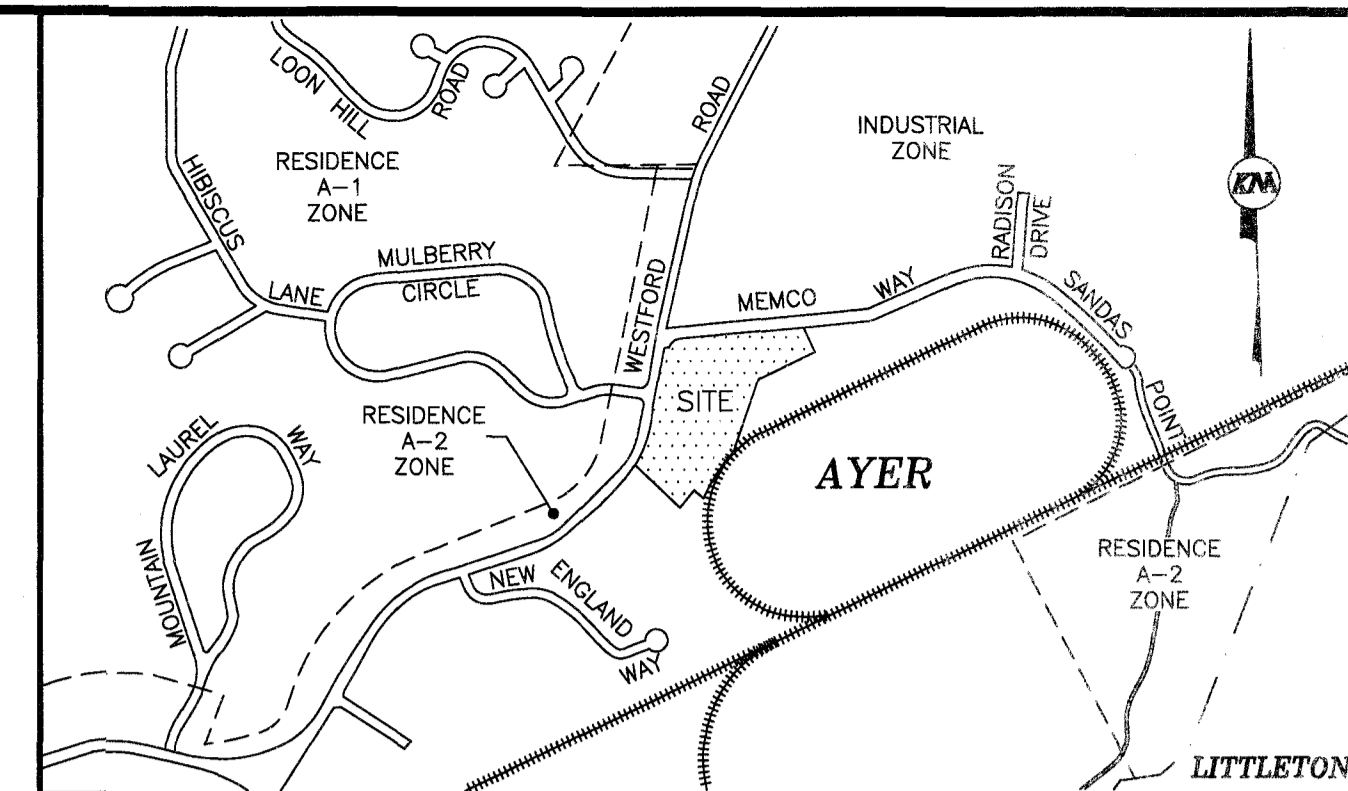
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 18, 2023 **SCALE:** 1" = 20'
PROJECT NO: 23-0621-1 **SHEET:** 1 OF 6



LEGEND

- ⊗ GB-F GRANITE BOUND FOUND
- ⊙ IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- ⊙ RRS-F RAILROAD SPIKE FOUND
- ⊙ UTILITY POLE
- ⊙ SIGN
- ⊙ LIGHT HYDRANT
- ⊙ WELL
- ⊙ SEWER MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ CATCH BASIN
- ⊙ FLARED END SECTION
- ⊙ ABUTTER LINE
- ⊙ PROPERTY LINE
- ⊙ WETLAND
- ⊙ CHAIN LINK FENCE
- ⊙ GUARDRAIL
- ⊙ OVERHEAD UTILITIES
- ⊙ TREELINE
- ⊙ RETAINING WALL
- ⊙ EDGE OF PAVEMENT
- ⊙ BITUMINOUS CURB
- ⊙ EDGE OF GRAVEL
- ⊙ 10' CONTOUR
- ⊙ 2' CONTOUR
- ⊙ STONEWALL
- ⊙ SCS SOIL LINE
- ⊙ BUILDING SETBACK
- ⊙ EASEMENT
- ⊙ GB-TBS GRANITE BOUND TO BE SET
- ⊙ IPIN-TBS IRON PIN TO BE SET
- ⊙ DH-TBS DRILL HOLE TO BE SET
- ⊙ IPP-TBS IRON PIPE TO BE SET
- ⊙ RRS-TBS RAILROAD SPIKE TO BE SET
- ⊙ UTILITY POLE TO BE SET
- ⊙ SIGN TO BE SET
- ⊙ LIGHT HYDRANT TO BE SET
- ⊙ WELL TO BE SET
- ⊙ SEWER MANHOLE TO BE SET
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- ⊙ EDGE OF PAVEMENT TO BE SET
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- ⊙ 10' CONTOUR TO BE SET
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- ⊙ STONEWALL TO BE SET
- ⊙ SCS SOIL LINE TO BE SET
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- ⊙ EASEMENT TO BE SET

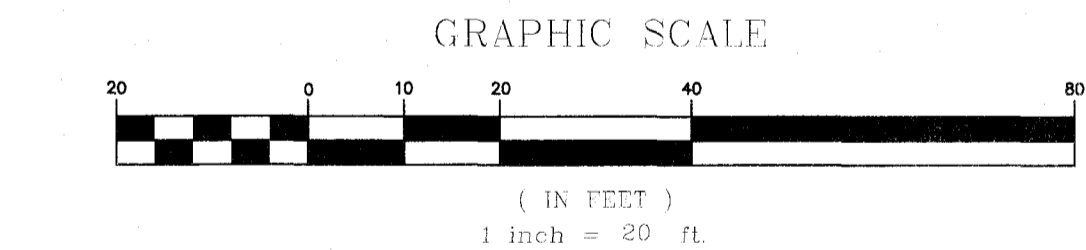
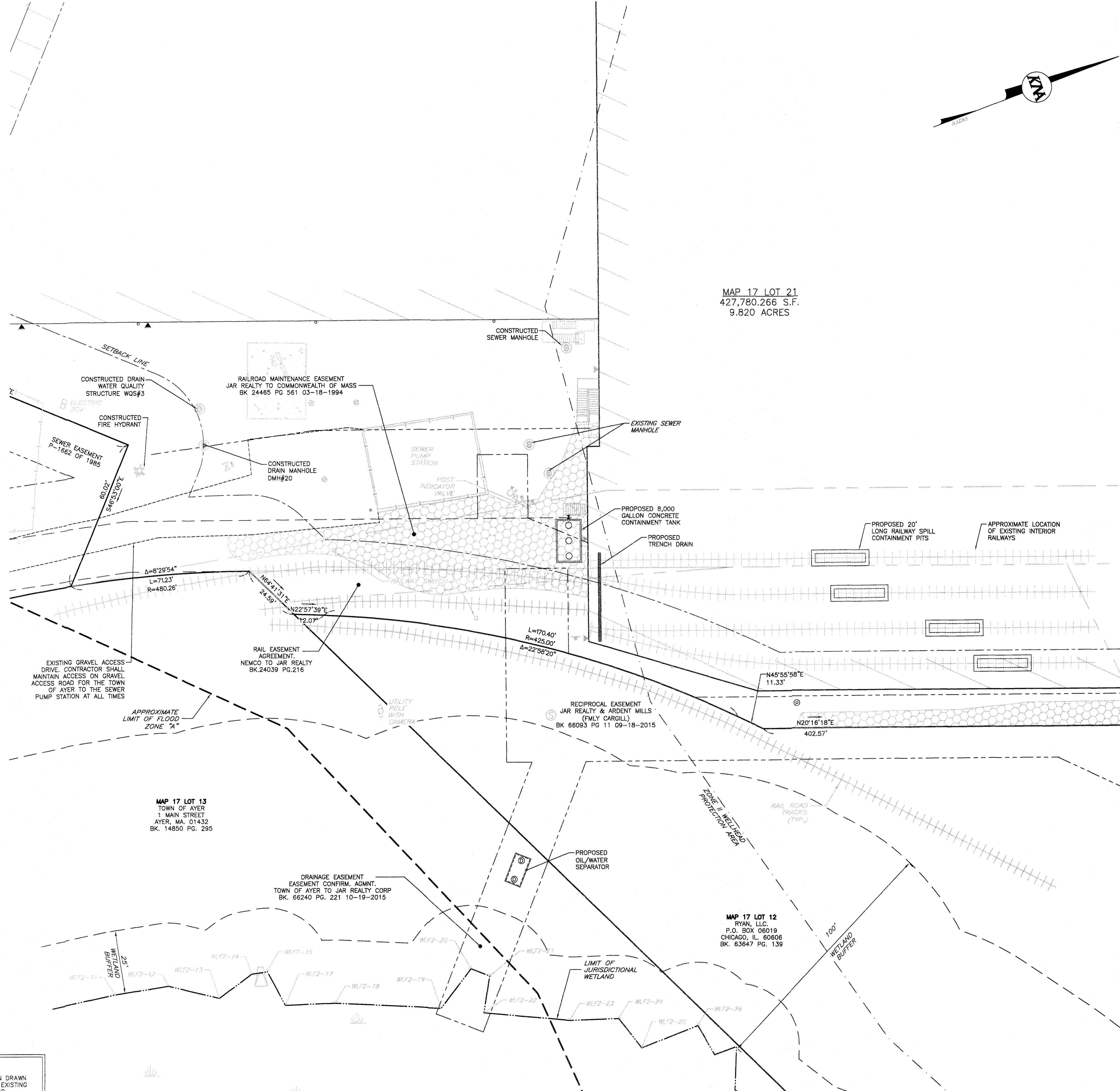


VICINITY PLAN
1" = 1000'

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED SITE IMPROVEMENTS FOR RAILWAY SPILL CONTAINMENT ON ASSESSORS MAP 17 LOT 21 IN AYER, MA, AND NO OTHER PURPOSE.
2. TOTAL SITE AREA = 427,780 S.F. OR 9.820 ACRES.
3. OWNER OF RECORD:
JAR REALTY CORPORATION
3 NEMCO WAY
AYER MA, 01432
4. PRESENT ZONING: INDUSTRIAL DISTRICT (I)
5. THE SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
6. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN APRIL AND MAY OF 2020.
7. HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD88 FROM GPS SURVEY METHODS POST PROCESSED THROUGH NOAA-OPUS.
8. NORTH ORIENTATION IS NAD83.
9. WETLANDS MAPPING WAS PERFORMED BY EPSILON ASSOCIATES, INC. IN DECEMBER OF 2020.
10. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF AYER MASSACHUSETTS, MIDDLESEX COUNTY COMMUNITY NUMBER 25017C0208E PANEL NUMBER 208 OF 656 EFFECTIVE DATE JUNE 4, 2010 INDICATES THAT A PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE "A" WITH NO BASE FLOOD ELEVATIONS DETERMINED.
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE OWNER OR CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
12. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
13. THE ZONING BOARD OF APPEALS, ON JANUARY 20, 2021, APPROVED A VARIANCE REQUEST FOR SIDE YARD SETBACK OF 12.4' IN LIEU OF THE REQUIRED 25' SETBACK AND A REAR YARD SETBACK OF 17.8' IN LIEU OF THE REQUIRED 30' SETBACK.
14. CATANIA SPAGNA CORPORATION OBTAINED AN APPROVED NOTICE OF INTENT ON MAY 17, 2021 AND AN APPROVED SITE PLAN APPLICATION ON MAY 12, 2021 IN RELATION TO A BUILDING EXPANSION.

MAP 17 LOT 21
427,780.266 S.F.
9.820 ACRES



NON-RESIDENTIAL SITE PLAN
CATANIA SPAGNA CORPORATION
MAP 17 LOT 21
1 NEMCO WAY
AYER, MASSACHUSETTS
MIDDLESEX COUNTY

OWNER:
JAR REALTY CORPORATION
3 NEMCO WAY
AYER, MA 01432
M.C.R.D. BK. 56185 PG. 107

APPLICANT:
CATANIA SPAGNA CORPORATION
1 NEMCO WAY
AYER, MA 01432

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 18, 2023 SCALE: 1" = 20'
PROJECT NO: 23-0621-1 SHEET 2 OF 6



UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND/OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



LEGEND

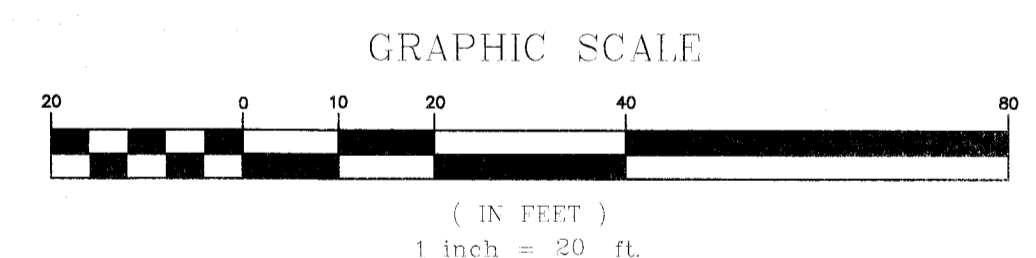
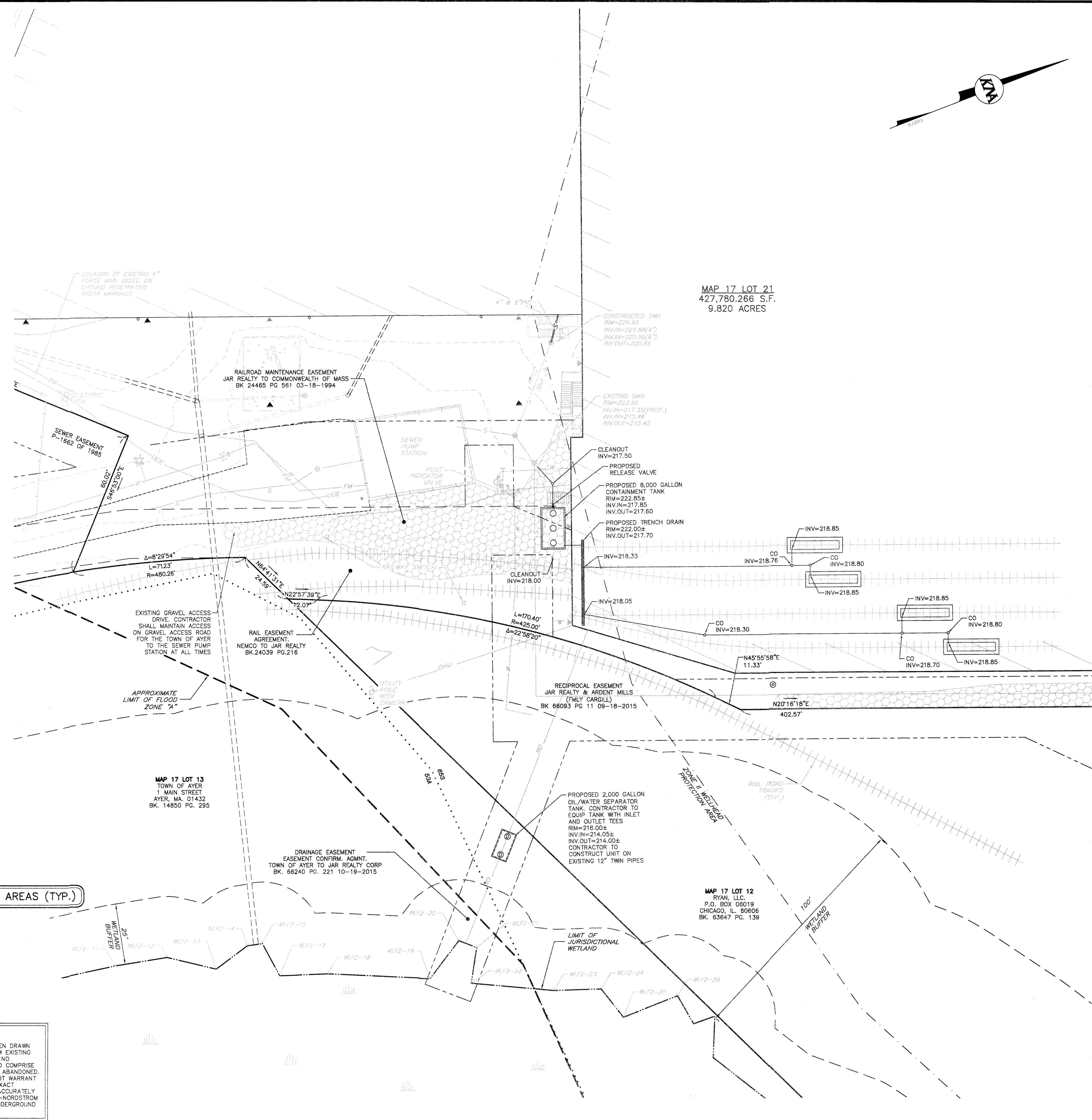
- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- ⊙ DH-F DRILL HOLE FOUND
- ⊙ IPP-F IRON PIPE FOUND
- △ RRS-F RAILROAD SPIKE FOUND
- UTILITY POLE
- SIGN
- LIGHT
- HYDRANT
- WELL
- SEWER MANHOLE
- DRAINAGE MANHOLE
- CATCH BASIN
- FLARED END SECTION
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- GUARDRAIL
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BITUMINOUS CURB
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- BUILDING SETBACK
- EASEMENT
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ⊙ DH-TBS DRILL HOLE TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED HYDRANT
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- PROPOSED PROPERTY LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED GUARDRAIL
- PROPOSED OVERHEAD UTILITIES
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- EASEMENT

- CONSTRUCTION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SPILL CONTAINMENT AND DRAINAGE IMPROVEMENTS FOR THIS SITE.
 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF AYER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, APPROVED AND ADOPTED 2020 ARE HEREBY INCORPORATED BY REFERENCE.
 3. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED.
 4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. SEE DETAILS FOR DRAINAGE SPECIFICATIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.

SCS SOILS LEGEND

- 53A FREETOWN MUCK, PONDED
0 TO 1 PERCENT SLOPES
 - 260B SUDBURY FINE SANDY LOAM
3 TO 8 PERCENT SLOPES
 - 262B QUONSET SANDY LOAM
3 TO 8 PERCENT SLOPES
 - 653 UDORTHENTS, SANDY
- SOURCE: USDA-SCS WEB SOIL SURVEY
MIDDLESEX COUNTY

MAP 17 LOT 21
427,780,266 S.F.
9.820 ACRES



DRAINAGE & UTILITY PLAN
CATANIA SPAGNA CORPORATION
 MAP 17 LOT 21
 1 NEMCO WAY
 AYER, MASSACHUSETTS
 MIDDLESEX COUNTY

OWNER: JAR REALTY CORPORATION
 3 NEMCO WAY
 AYER, MA 01432
 M.C.R.D. BK. 56185 PG. 107

APPLICANT: CATANIA SPAGNA CORPORATION
 1 NEMCO WAY
 AYER, MA 01432

K/A KEACH-NORDSTROM ASSOCIATES, INC.
 Civil Engineering Land Surveying Landscape Architecture
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 18, 2023 SCALE: 1" = 20'
 PROJECT NO: 23-0621-1 SHEET 3 OF 6

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

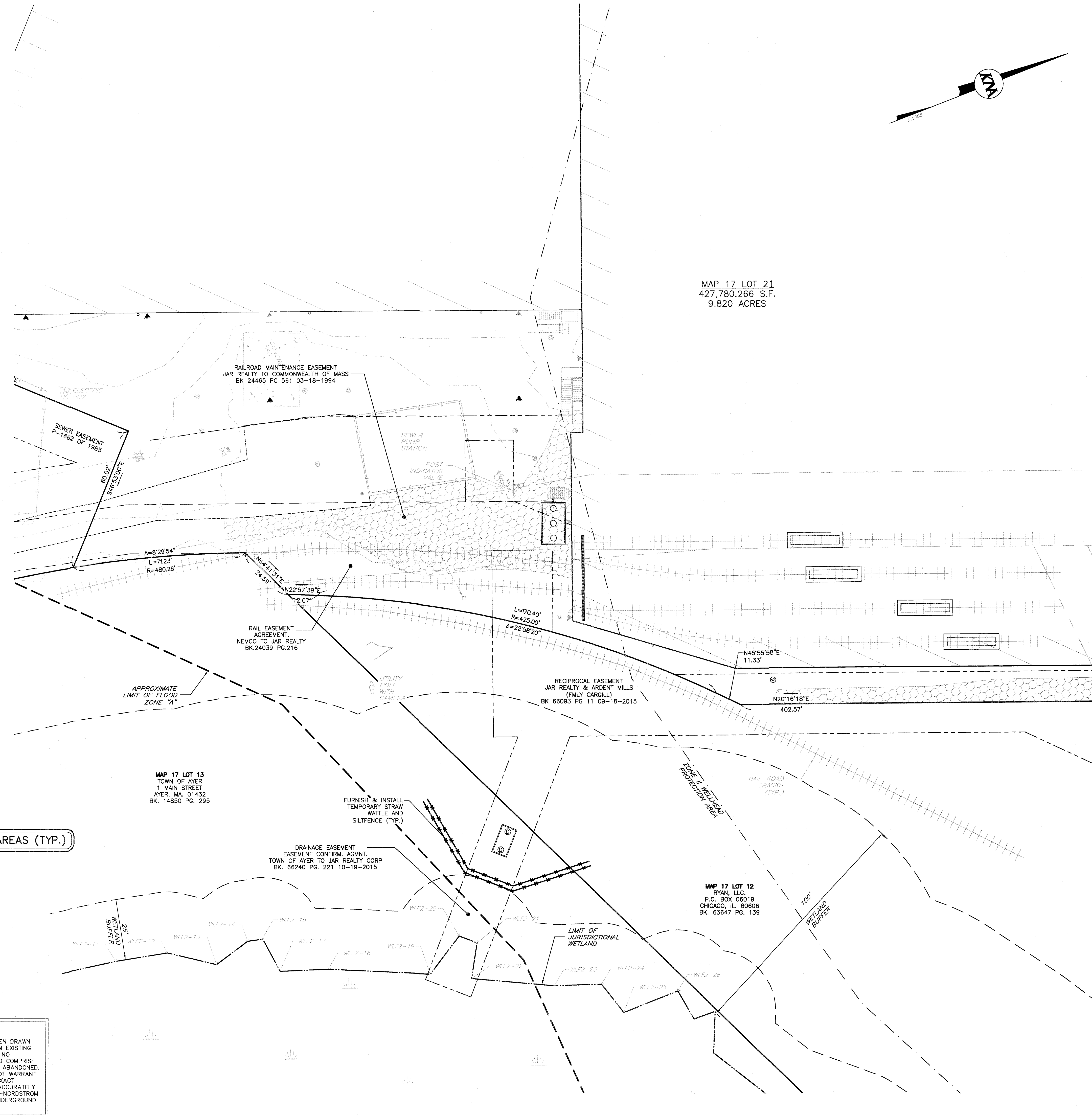
LEGEND

- ⊙ GB-F GRANITE BOUND FOUND
- ⊙ IPIN-F IRON PIN FOUND
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- GUARDRAIL
- OVERHEAD UTILITIES
- TREELINE
- RETAINING WALL
- EDGE OF PAVEMENT
- BITUMINOUS CURB
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- SCS SOIL LINE
- BUILDING SETBACK
- EASEMENT
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- DH-TBS DRILL HOLE TO BE SET
- PROPOSED UTILITY POLE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED HYDRANT
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OUTLET STRUCTURE
- PROPOSED END SECTION
- PROPOSED PROPERTY LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED GUARDRAIL
- OHU PROPOSED OVERHEAD UTILITIES
- TREELINE PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BITUMINOUS CURB
- PROPOSED 2' CONTOUR
- PROPOSED RETAINING WALL
- EASEMENT

EROSION CONTROL NOTES:

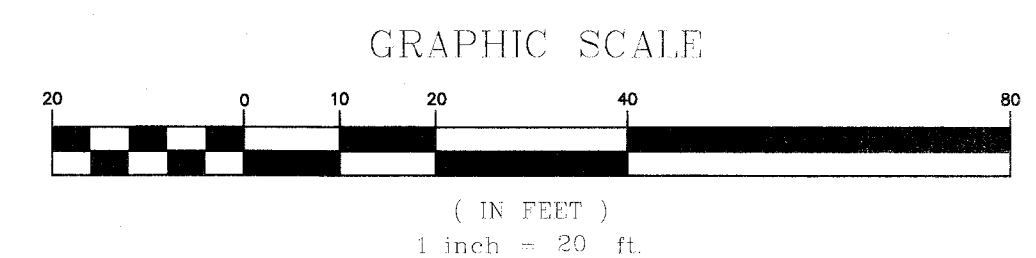
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES.
2. ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN SHALL MEET, AS A MINIMUM, THE BEST MANAGEMENT PRACTICES SET FORTH IN THE "MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND THE E.P.A. 2017 "CONSTRUCTION GENERAL PERMIT" MANUAL.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
10. THE TOWN OF AYER SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT THE FOLLOWING INTERVALS: IN ORDER FOR THE ENGINEER TO PERFORM SITE INSPECTIONS:
 - 13.1. INITIAL SITE INSPECTION PRIOR TO ANY INSTALLATION.
 - 13.2. STORMWATER MANAGEMENT SYSTEM INSPECTION PRIOR TO BACKFILLING OF ANY UNDERGROUND DRAINAGE OR STORMWATER CONVEYANCE STRUCTURES.
 - 13.3. INSPECTION OF SUBGRADE AFTER BACKFILLING.
 - 13.4. FINAL INSPECTION.
14. ACCESS TO THE PUMP STATION MUST BE MAINTAINED AT ALL TIMES FOR THE DPW.

MAP 17 LOT 21
427,780.266 S.F.
9.820 ACRES



EROSION & SEDIMENT CONTROL LEGEND

- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
- TEMPORARY SEDIMENT BARRIERS AT ALL CATCH BASINS
- PERIMETER CONTROL
- PERMANENT STONE CHECK DAM
- LIMITS OF CLEARING
- STABILIZED CONSTRUCTION EXIT
- STAGING AND STOCKPILE AREA
- EROSION CONTROL BLANKETS
- NON DISTURBANCE AREA



LOAM & SEED ALL DISTURBED AREAS (TYP.)



UTILITY NOTE
THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND OR PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

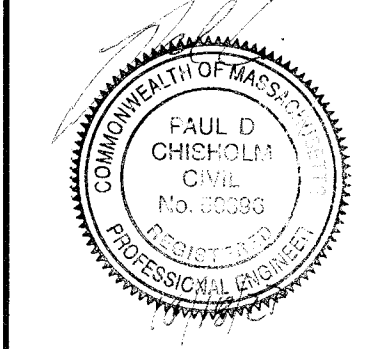
EROSION CONTROL PLAN
CATANIA SPAGNA CORPORATION
MAP 17 LOT 21
1 NEMCO WAY
AYER, MASSACHUSETTS
MIDDLESEX COUNTY

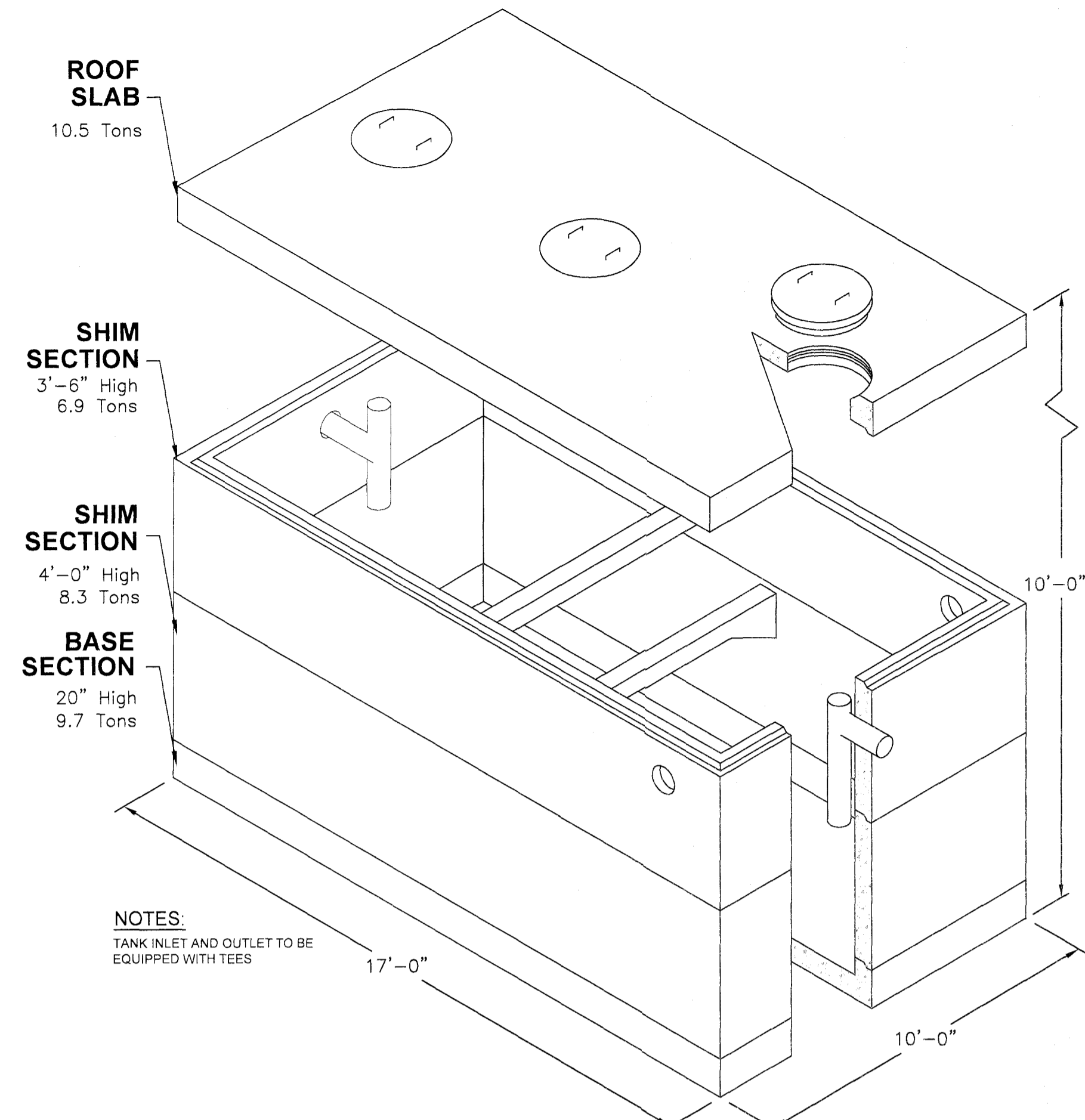
OWNER: JAR REALTY CORPORATION 3 NEMCO WAY AYER, MA 01432 M.C.R.D. BK. 56185 PG. 107	APPLICANT: CATANIA SPAGNA CORPORATION 1 NEMCO WAY AYER, MA 01432
--	--

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

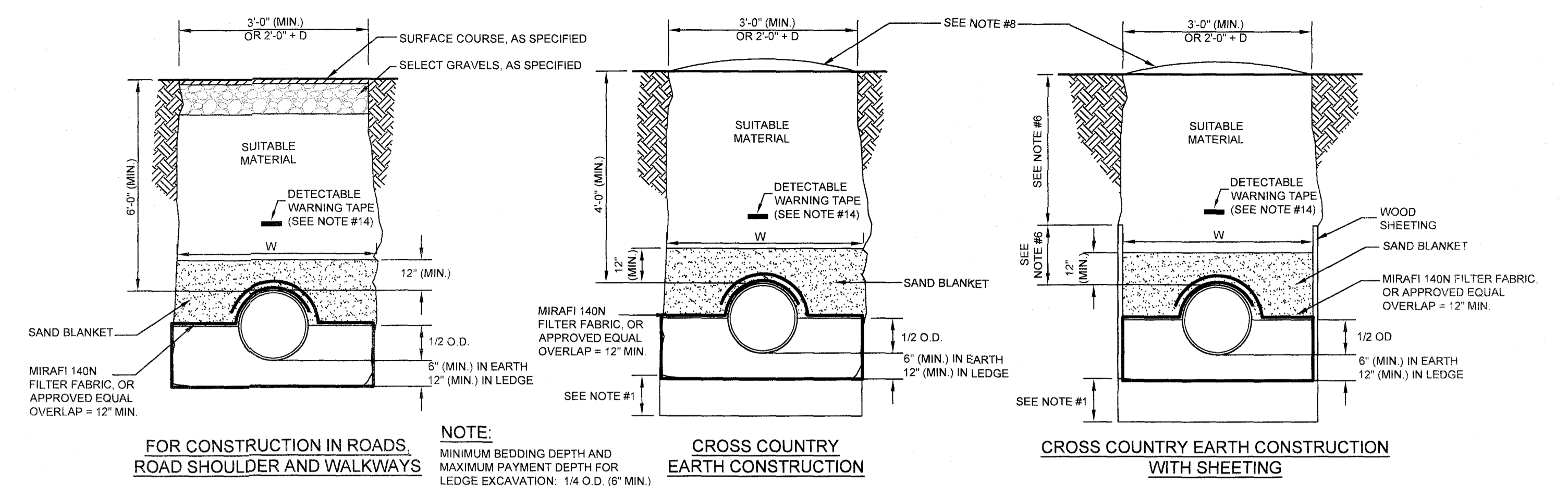
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: OCTOBER 18, 2023 SCALE: 1" = 20'
PROJECT NO: 23-0621-1 SHEET 4 OF 6



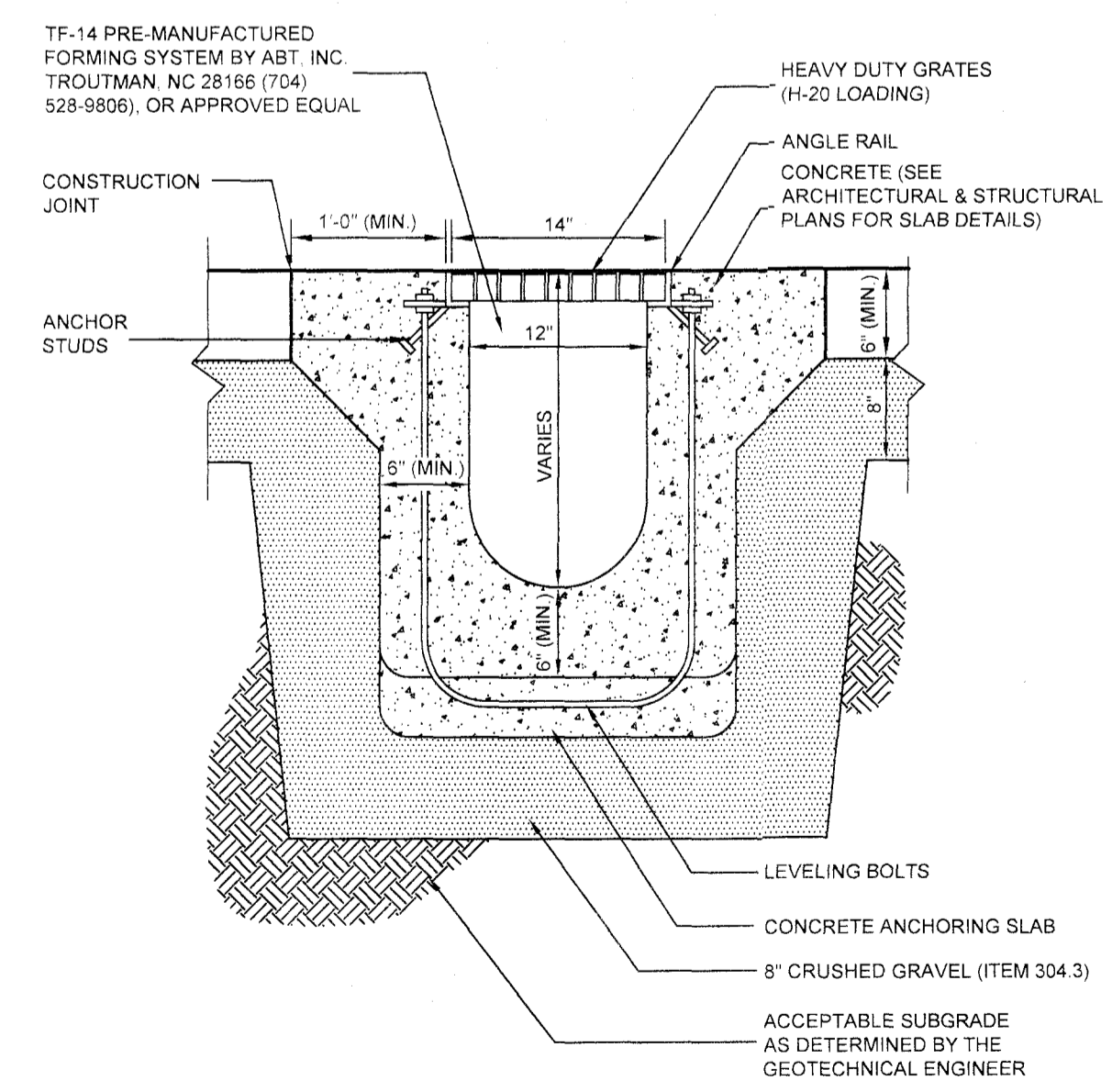


8,000 GALLON HOLDING TANK
NOT TO SCALE

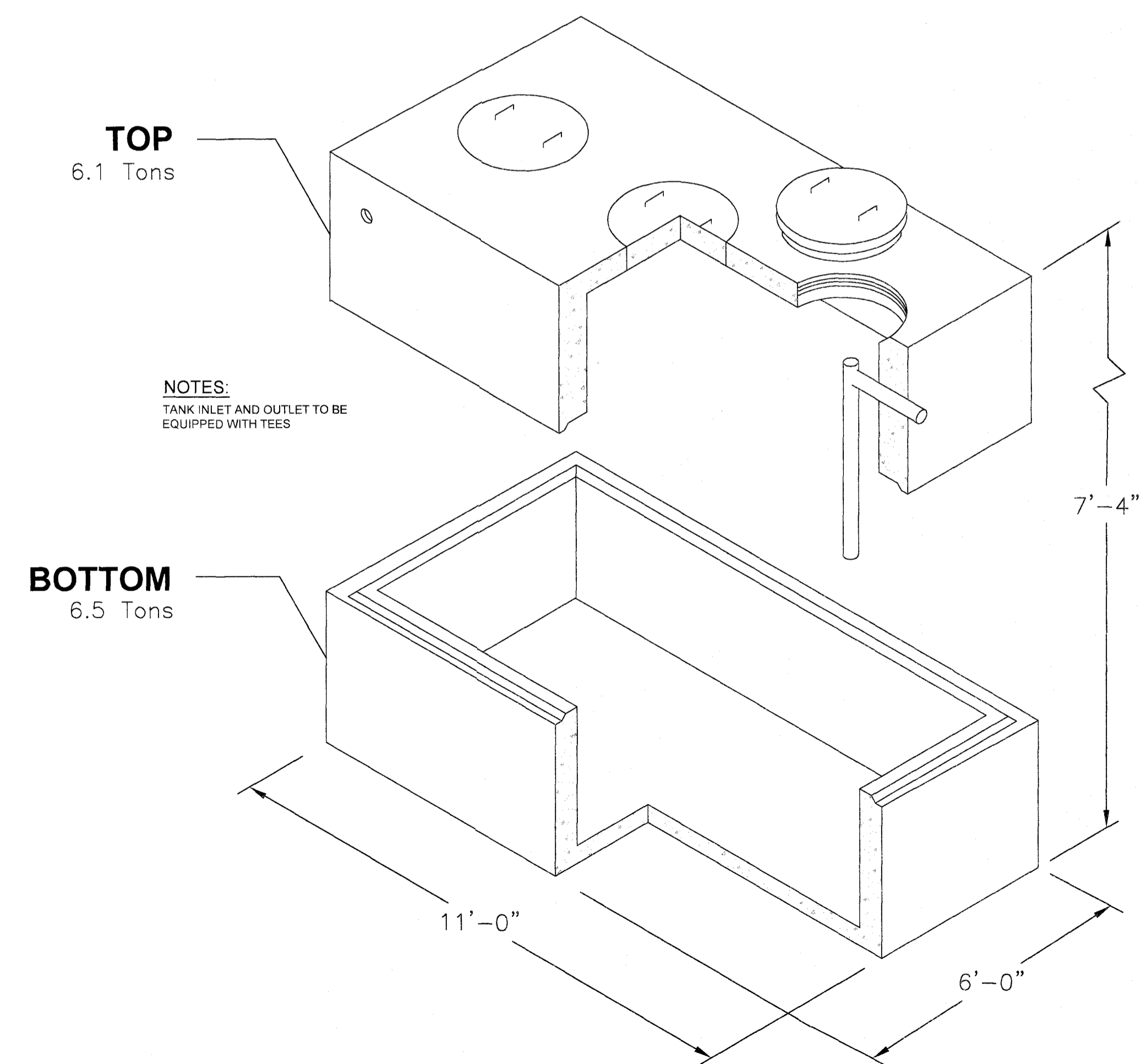


SANITARY SEWER TRENCH DETAIL
NOT TO SCALE
(NOVEMBER 2016)

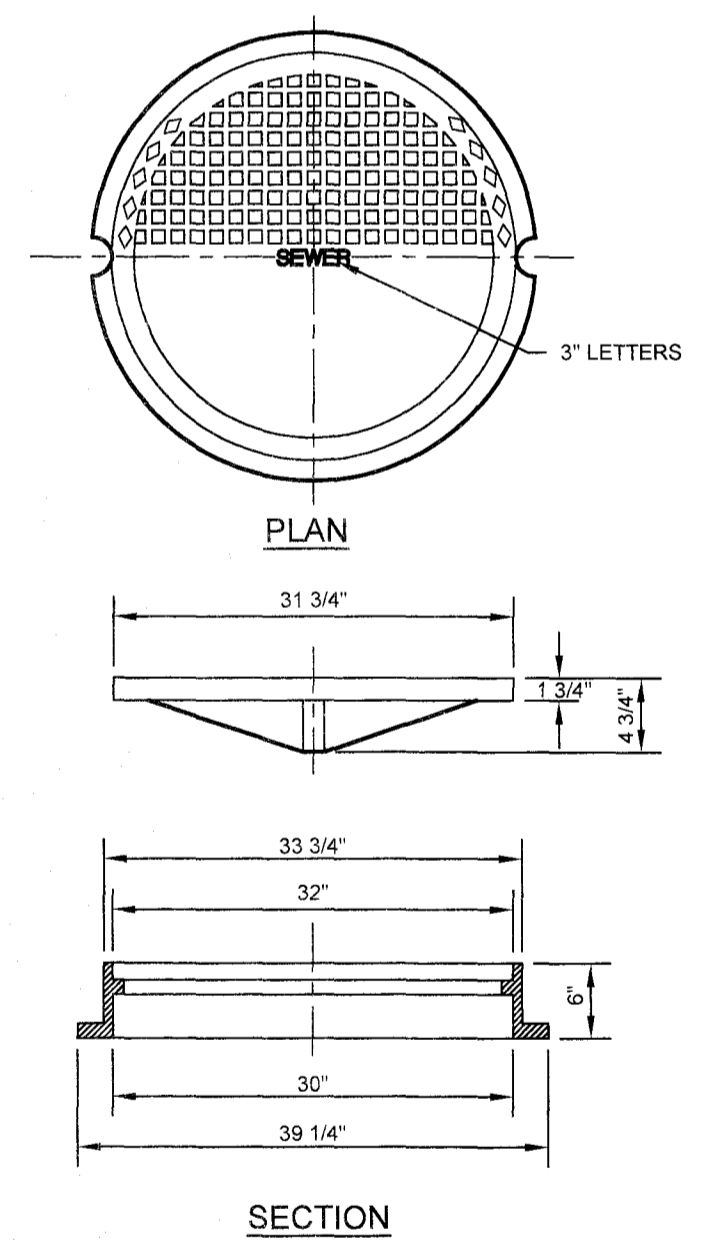
- NOTES:**
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. ALSO SEE NOTE #7. BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33/C33M STONE SIZE NO. 67. 100% PASSING 1 INCH SCREEN. 90 - 100% PASSING 3/4 INCH SCREEN. 20 - 55% PASSING 3/8 INCH SCREEN. 0 - 10% PASSING # 4 SIEVE. 0 - 5% PASSING # 9 SIEVE. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES SHALL BE USED.
 - SAND BLANKET: GRADED CLEAN SAND FREE FROM ORGANIC MATTER, SO THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A # 200 SIEVE. BLANKET MAY BE OMITTED FOR CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED, HOWEVER, THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
 - MIRAFI 140N FILTER FABRIC, OR APPROVED EQUAL, SHALL BE INSTALLED ABOVE PIPE.
 - SUITABLE MATERIAL, IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL VET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL AND ALL ROCKS OVER 8 INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER WILL BE PRESERVED FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY.
 - BASE COURSE, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS."
 - WOOD SHEETING, IF REQUIRED, WHERE PLACED ALONGSIDE THE PIPE AND EXTENDING BELOW MID-DIAMETER, SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 - W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE 10 FEET OF SEPARATION BETWEEN WATER AND SEWER. HOWEVER, SHOULD CONSTRUCTION REVEAL OR EXPOSE A WATERLINE (MAIN OR SERVICE) RUNNING APPROXIMATELY PARALLEL AND LESS THAN 10 FEET HORIZONTALLY FROM THE PROPOSED SEWER INSTALLATION AND WHERE IT IS NOT PRACTICAL TO RELOCATE THE SEWER, A DEVIATION MAY BE GRANTED PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAJOUR CONSTRUCTION REQUIREMENT SPECIFIED BELOW.
 - FORCE MAINS SHALL BE CONSTRUCTED FROM DUCTILE IRON, HIGH DENSITY POLYETHYLENE, OR PVC PER ENV-VI0 704.06(A). PVC SHALL CONFORM TO ASTM D2241-05 OR ASTM D1785-05. HDPE SHALL CONFORM TO ASTM D3035-03.
 - D.I. SHALL BE CORROSION PROTECTED IN CORROSIVE ENVIRONMENTS.
 - WHERE WATER LINES AND SEWER LINES CROSS, THEY SHOULD CROSS AS PERPENDICULAR AS POSSIBLE AND THE WATER MAIN SHALL CROSS AT LEAST 18" INCHES ABOVE THE SEWER. FURTHER, THE SEWER JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
 - ALL SEWERS AT 8 PERCENT SLOPE, OR GREATER, SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET.
 - UNLESS OTHERWISE NOTED, ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.
 - WHERE WATER MAINS CROSS UNDER SEWER MAINS, BOTH THE SEWER AND WATER MAINS SHALL BE PRESSURE RATED PIPE PER ENV-VI0 704.06 AND TESTED PER AWWA C800-05 AT 1.5 TIMES DESIGN PRESSURE OR 100 PSI, WHICHEVER IS GREATER, WITH NO JOINTS WITHIN 9 FEET OF THE CROSSING POINT AND 18" MINIMUM VERTICAL SEPARATION.
 - ALL SEWERS SHALL BE MARKED USING METAL IMPREGNATED MARKING TAPE OR TRACER WIRE THAT CAN BE LOCATED USING METAL DETECTION EQUIPMENT.
 - GRAVITY PIPE SEWER TESTING
 - ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
 - LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 - ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR"; OR
 - UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" (1998).
 - ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
 - ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION.
 - THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95 PERCENT OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.



TRENCH DRAIN DETAIL
NOT TO SCALE



2,000 GALLON OIL/WATER SEPARATOR TANK
NOT TO SCALE



SEWER MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(MARCH 2008)

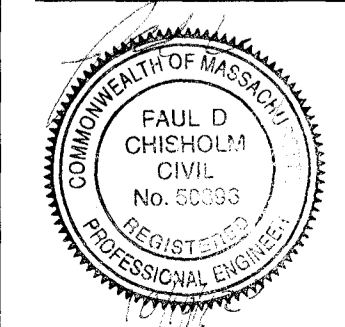
- NOTES:**
NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:**
- 3" LETTERING
 - COVERS MARKED SEWER
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:**
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - GRAY CAST IRON MEETS ASTM A48 CLASS 30

CONSTRUCTION DETAILS
CATANIA SPAGNA CORPORATION
MAP 17 LOT 21
1 NEMCO WAY
AYER, MASSACHUSETTS
MIDDLESEX COUNTY

OWNER: JAR REALTY CORPORATION
3 NEMCO WAY
AYER, MA 01432
M.C.R.D. BK. 56185 PG. 107

APPLICANT: CATANIA SPAGNA CORPORATION
1 NEMCO WAY
AYER, MA 01432

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881



REVISIONS		
No.	DATE	DESCRIPTION

DATE: OCTOBER 18, 2023 SCALE: AS NOTED
PROJECT NO: 23-0621-1 SHEET 5 OF 6

Town of Ayer CONSERVATION COMMISSION

Town Hall ♦ One Main Street ♦ Ayer, MA 01432
Phone 978-772-8220 ext. 143 ♦ Fax 978-772-8208 ♦ concom@ayer.ma.us



RECEIVED
OCT 23 2023

TOWN OF AYER
TOWN CLERK

10:30
am
CT

Town of Ayer
Conservation Commission

The Ayer Conservation Commission will conduct a Public Hearing on Thursday, October 26, 2023, at 7:00 p.m. in the First Floor Meeting Room of the Ayer Town Hall at 1 Main Street, Ayer, regarding: the petition of North Country Developers, LLC filing a Notice of Intent (NOI) for the proposed development of two (2), duplex residential units on separate lots with associated utilities and driveways on a previously disturbed lot located at 71 Snake Hill Road in Ayer, MA 01432, subject to Protection under the Wetlands Protection Act (MGL Ch. 131, Section 40) and the Ayer Wetlands Protection Bylaw, Article XXVI. The public is invited to attend and participate in this hearing. Copies of the Application may be reviewed at the Conservation Office in Town Hall during normal business hours or by contacting Heather Hampson, Conservation Agent at hhampson@ayer.ma.us or by calling 978-772-8220, x 143.

Jon Schmalenberger, Chair
Ayer Conservation Commission

NOTICE OF INTENT

Filed Under the Massachusetts Wetlands Protection Act
and the Town of Ayer Wetlands Protection Bylaw (Chapter 300 of the
Town's General Bylaws)

for

**Construction of a two Multi-Family (Duplex) Residential Dwellings
within the 100' Buffer Zone to a Bordering Vegetated Wetland**

Located at

**Lot 1 - Sandy Pond Road &
Lot 2 - Snake Hill Road
Ayer, MA
(Assessor's Map 29, Parcel 1)
(2.86 AC.)**

APPLICANT/OWNER

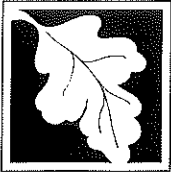
North County Developers, LLC
D.E.R.A. Project Number 34325

REPRESENTATIVE

Brandon Ducharme
David E. Ross Associates, Inc.
*Civil Engineers, Land Surveyors
& Environmental Consultants*
P. O. Box 795
Harvard, MA 01451

October, 2023





WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

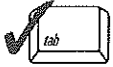
MassDEP File Number

Document Transaction Number

Ayer

City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>71 Sandy Pond Road</u>	<u>Ayer</u>	<u>01432</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	<u>42.5589</u>	<u>-71.5587</u>
	d. Latitude	e. Longitude
<u>29</u>	<u>1</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Brent</u>	<u>Routhier</u>	
a. First Name	b. Last Name	
<u>North Country Developers, LLC</u>		
c. Organization		
<u>186 Littleton Road</u>		
d. Street Address		
<u>Ayer</u>	<u>MA</u>	<u>01432</u>
e. City/Town	f. State	g. Zip Code
<u>(978) 423-1961</u>	<u>bcrouthiersons@gmail.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Brandon</u>	<u>Ducharme</u>	
a. First Name	b. Last Name	
<u>David E. Ross Associates, Inc.</u>		
c. Company		
<u>PO Box 795</u>		
d. Street Address		
<u>Harvard</u>	<u>MA</u>	<u>01451</u>
e. City/Town	f. State	g. Zip Code
<u>978-772-6232</u>	<u>978-772-6258</u>	<u>bducharme@davidross.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$2,100.00</u>	<u>\$1,037.50</u>	<u>\$1,062.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



A. General Information (continued)

6. General Project Description:

Construction of a two Multi-Family (duplex) dwellings in a Buffer Zone to a BVW.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex South

a. County

81572

c. Book

b. Certificate # (if registered land)

347

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Ayer

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced

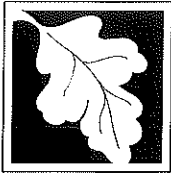
- f. Riverfront Area
- Name of Waterway (if available) - specify coastal or inland
 - Width of Riverfront Area (check one):
 - 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects
 - Total area of Riverfront Area on the site of the proposed project: _____ square feet
 - Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
----------------------	-------------------------------	--

- Has an alternatives analysis been done and is it attached to this NOI? Yes No
- Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Ayer

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

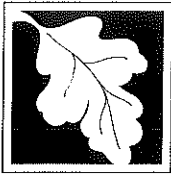
a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Ayer

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

Current MassGIS

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
percentage/acreage

(b) outside Resource Area _____
percentage/acreage

2. Assessor's Map or right-of-way plan of site

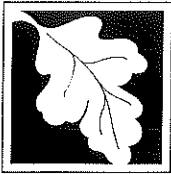
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

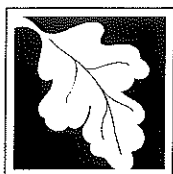
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 1213 Purchase Street – 3rd Floor
 New Bedford, MA 02740-6694
 Email: DMF.EnvReview-South@state.ma.us

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Ayer

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

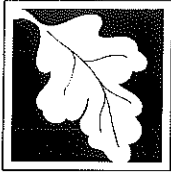
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



WPA Form 3 – Notice of Intent

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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan, designed for North Country Developers LLC (Plan #L-14703)

a. Plan Title

David E. Ross Associates, Inc.

Daniel B. Wolfe, P.E.

b. Prepared By

c. Signed and Stamped by

September, 2023

1=20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

3136

2. Municipal Check Number

9/20/2023

3. Check date

3135

4. State Check Number

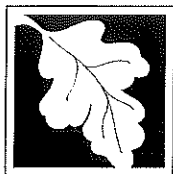
9/20/2023

5. Check date

North Country Developers, LLC

6. Payor name on check: First Name

7. Payor name on check: Last Name



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Ayer

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

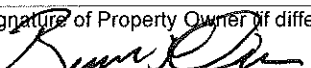
I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.



1. Signature of Applicant


2. Date

3. Signature of Property Owner (if different)

4. Date


5. Signature of Representative (if any)


6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

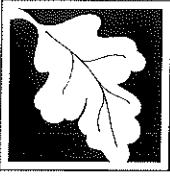
For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

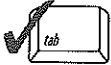
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

71 Sandy Pond Road _____ Ayer _____
 a. Street Address b. City/Town
 3135 _____ \$1,037.50 _____
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Brent _____ Routhier _____
 a. First Name b. Last Name
 North Country Developers, LLC _____
 c. Organization
 186 Littleton Road _____
 d. Mailing Address
 Ayer _____ MA _____ 01432 _____
 e. City/Town f. State g. Zip Code
 (978) 423-1961 _____ bcrouthiersons@gmail.com _____
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

_____ _____
 a. First Name b. Last Name

 c. Organization

 d. Mailing Address
 _____ _____ _____
 e. City/Town f. State g. Zip Code
 _____ _____ _____
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

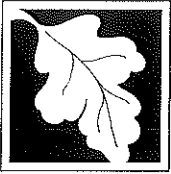
Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
3 b.) Each building for development	2	\$1,050.00	\$2,100.00

Step 5/Total Project Fee: \$2,100.00

Step 6/Fee Payments:

Total Project Fee:	<u>\$2,100.00</u>
State share of filing Fee:	<u>\$1,037.50</u>
City/Town share of filling Fee:	<u>\$1,062.50</u>
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

WPA Attachment A.

Massachusetts Wetlands Protection Act M.G.L. c. 131 s. 40

Proposed Project Description

PROJECT LOCATION

71 Sandy Pond Road (Lots 1 & 2)
Ayer, MA
(Assessor's Map 29, Parcel 1)

APPLICANT/OWNER

North Country Developers, LLC
186 Littleton Road
Ayer, MA 01432

SITE DESCRIPTION

The project site consists of a 2.86 acre residential house lot with frontage along Sandy Pond Road and Snake Hill Road in Ayer Massachusetts. The site is located within a A-2 Residential Zoning district and currently has a 3-bedroom single-family home, paved parking area and on-site sewage disposal system. The site topography is generally flat, sloping slightly towards Snake Hill Road, Sandy Pond Road and the wetland located along the westerly property line. In addition to the wetland along the westerly side of the property, there is also a wetland associated with a pond located across the street, east of Snake Hill Road.

The wetland area along the westerly side of the property, associated with an intermittent stream that exits a culvert under Sandy Pond Road, is identified by wetland delineation flags A-1 through A-11. This wetland is considered a Bordering Vegetated Wetland as defined by 310 CMR 10.55. There is a 100' Buffer Zone that extends landward from wetland line that encompasses a portion of the existing house and paved parking area. The wetland area east of Snake Hill Road is a vegetated wetland associated with a pond. This wetland would also be considered a Bordering Vegetated Wetland as defined by 310 CMR 10.55. There is a 100' Buffer Zone that extends landward, across Snake Hill Road and encompasses a portion of the existing paved parking area.

PROJECT DESCRIPTION

The proposed projects consists of the construction of two (2) multi-family residential (duplex) units, to be located on separate lots, with portions of the proposed work located within the 100-foot Buffer Zones. Prior to construction, the existing house and paved parking area will be razed and removed from the site. Part of the site preparation will include the removal of other man-made debris located at the site. Any existing tanks or components associated with the septic system will be pumped, crushed and replaced with clean fill.

The proposed duplex for Lot 1 will have street frontage along Sandy Pond Road. The proposed duplex will have a two-car garage, one for each unit, with vehicular access from Sandy Pond Road. The access for the driveway will be located within the existing curb cut provided for the existing dwelling located at the site. The utilities, such as sewer, water and gas will be provided from the municipal services located within the right of way of Sandy Pond Road.

The proposed duplex for Lot 2 will have street frontage along Snake Hill Road. The proposed duplex will have a two-car garage, one for each unit, with vehicular access from Snake Hill Road. The utilities for sewer and gas will be provided by the municipal services located within the right of way of Sandy Pond Road. An easement is provided over Lot 1 to allow connection to the municipal service within the right of way of Sandy Pond Road. The proposed duplex shall be connected to watermain located within Snake Hill Road.

WPA Attachment A.

Massachusetts Wetlands Protection Act M.G.L. c. 131 s. 40

Proposed Project Description

Work is proposed within the 50-foot "no disturbance zone", however, this work is associated with the removal and restoration of pavement that is currently located at the site. All of the proposed work is located within previously developed areas of the site. The proposed re-development will result in less impervious area at site as shown in the following table.

Summary of Impervious Area:

Description:	Existing (square feet):	Proposed (square feet):	Difference (square feet):
Area with 50-Foot "No Disturbance Zone"	1,072	0	-1,072
Area within 100-Foot Buffer Zone	7,177	3,424	-3,753
Total Area on-site	13,892	5,150	-8,742

EROSION CONTROL/SILTATION BARRIER

Erosion and sediment controls have been incorporated in the plan with the objective of retaining sediment on site, filtering and reducing storm water discharge and protecting wetland and undisturbed areas. A siltation barrier consisting of a straw wattles will be installed up gradient from Wetland Resource Areas that may receive runoff from the construction activities. The siltation barrier will be installed prior to the commencement of work at the limit of the proposed disturbance. The proposed siltation barrier shall remain in place and be maintained until all disturbed areas have become stable and with the approval of the Conservation Commission.

WETLAND DELINEATION DATA

By Brandon Ducharme, David E. Ross Associates, Inc., April 13, 2023.

Bordering Vegetated Wetlands delineate with Blue flags as shown on Site Plan (Plan L-14703):

Blue Flags: A1 to A11 - edge of Bordering Vegetated Wetland (west side of property)
 B1 to B7 – edge of Bordering Vegetated Westland (east of Snake Hill Road);

Hydric Soil Probe OP-1

0"-21" Oa Organic 10YR 2/1

Saturated to Surface

Groundwater at 0" (standing water throughout wetland area)

Trees:

Northern Red Maple (*Acer rubrum*) 90% FAC

Shrubs and Saplings:

Northern Arrow-wood (*Viburnum recognitum*) 30% FACW-

Northern Red Maple (*Acer rubrum*) 15% FAC

Ground Cover:

Royal Fern (*Osmunda regalis*) 40% OBL

WPA Attachment A.

Massachusetts Wetlands Protection Act M.G.L. c. 131 s. 40

Proposed Project Description

Cinnamon Fern (<i>Osmunda cinnamomea</i>)	30%	FACW
Jewelweed (<i>Impatiens capensis</i>)	20%	FACW

Upland Soil Probe OP-2

0" -4"	A	Fine sandy loam	10YR 3/2
4"-18"	Bw	Fine sandy loam	10YR 5/6

No Groundwater or Redox features

Trees:

Norther Red Oak (<i>Acer rubrum</i>)	50%	FACU-
Eastern White Pine (<i>Pinus strobus</i>)	40%	FACU

Shrubs & Saplings:

Witch-Hazel (<i>Hamamelis virginiana</i>)	30%	FAC-
Glossy Buckthorn (<i>Rhamnus frangula</i>)	20%	FAC

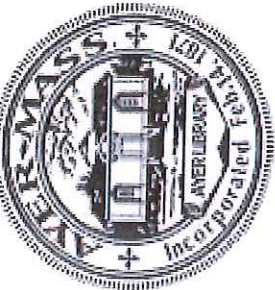
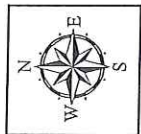
SUPPLEMENTAL INFORMATION

- The project is not within an ORW
- The project is not within a NHESP rare and endangered species area
- The project is not within an ACEC
- The project is not within a FEMA designated flood zone

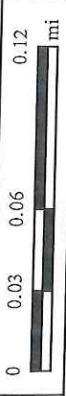
PLANS/MAPS INCLUDED IN NOI

- USGS Topo
- NHESP Map
- ACEC Map
- FEMA Flood Insurance Rate Map
- Site Plan- Designed for North County Developers, LLC, Plan No. L-14703

MIRMapper WebMap



- Parcel Boundaries
- Other Legal Features**
 - Easements
- Miscellaneous Features**
 - Former Shore
 - Future Lot
 - Island
 - Traffic Island
 - Water
 - MRPC Communities
 - Surrounding Communities
- Interstate Routes**
 - Interstate Routes
- US & State Routes**
 - US & State Routes
- Other Roadways**
 - Other Roadways
- Active Rail Lines**
 - MBTA Commuter Rail Stations
 - Active Rail Lines
 - Commuter Rail Line
 - Other Active Rail Lines



DISCLAIMER: The Assessor's data were developed for tax valuation purposes only and are not derived from legal surveys or legal descriptions. The Town of Ayer & the MRPC explicitly disclaims any representations and warranties as to the accuracy, timeliness, or completeness of the Assessor's data. The Assessor's data were created from multiple Town, County, State and Federal sources, and such sources could contain errors. The Assessor's data should not be used for any purpose requiring exacting measurement of distance or direction. In no event will the Town of Ayer, the MRPC, or their officers or employees be liable for any losses or damages that might arise from the use of the Assessor's data. This version of Ayer & the MRPC's data was last updated on 10/15/2024.





300 foot Abutters List Report

Board of Assessors
Town Hall
1 Main Street
Ayer, MA 01432

Tel: (978) 772-8220 ext. 140
Email: assessor@ayer.ma.us

Date: 07/27/2023

Subject Property:

Parcel	Physical Address	Owner1	Owner2	Mailing Address 1	Address 2	Community, State ZIP
29-1	71 SANDY POND ROAD	VELARDI MARK		71 SANDY POND ROAD		AYER, MA 01432
22-32	77 SANDY POND ROAD	PIRES MAURO B		77 SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #42	FLISHER RYAN MARSHALL WOOD	S/O JMSM LLC	75 SANDY POND ROAD #42		AYER, MA 01432
29-4	75 SANDY POND ROAD #2	ALLAN ELIZABETH J - U/E	S/O JMSM LLC	75 SANDY POND ROAD #2		AYER, MA 01432
29-4	75 SANDY POND ROAD #28	SHEEHAN BENJAMIN D	S/O JMSM LLC	75 SANDY POND ROAD #28		AYER, MA 01432
21-74	60 SANDY POND ROAD	REID STEPHEN R - JT	BETH ELLEN DOYLE	60 SANDY POND RD		AYER, MA 01432
22-20	0 SANDY POND ROAD	TOWN OF AYER		1 MAIN ST		AYER, MA 01432
29-4	75 SANDY POND ROAD #16	MEEHAN COLLEEN M - JT	S/O JMSM LLC	75 SANDY POND ROAD #16		AYER, MA 01432
21-72	56 SANDY POND ROAD	BROWN E GAYLE - TE	THOMAS E BROWN	56 SANDY POND ROAD		AYER, MA 01432
29-17	138 SNAKE HILL ROAD	DAVIDENKO ANATOLY A	SHANNON J DAVIDENKO	138 SNAKE HILL ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #23	HAMBLETT MARY A	S/O JMSM LLC	75 SANDY POND ROAD #23		AYER, MA 01432
29-4	75 SANDY POND ROAD #40	DETORA MATTHEW J	S/O JMSM LLC	75 SANDY POND ROAD #40		AYER, MA 01432
28-140	4 SAMANTHA LANE	HEBB BRIAN E	MARIE C HEBB	486 NEWTOWN ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #14	BREEST CAROL - U/E	S/O JMSM LLC	75 SANDY POND ROAD #14		LITTLETON, MA 01460
29-4	75 SANDY POND ROAD #35	KOZA CAROLA	S/O JMSM LLC	75 SANDY POND ROAD #35		AYER, MA 01432
28-143	10 SAMANTHA LANE #A	LINDA M COLLINS		10A SAMANTHA LANE		AYER, MA 01432
29-4	75 SANDY POND ROAD #9	CERULLO ELIZABETH A - LE	S/O JMSM LLC	75 SANDY POND ROAD #9		AYER, MA 01432
29-4	75 SANDY POND ROAD #47	FIGUEIRA RAYMOND - JTS	S/O JMSM LLC	47 SNAKE HILL ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #33	SLOWE EDWARD F	S/O JMSM LLC	75 SANDY POND ROAD #33		AYER, MA 01432
28-139	2 SAMANTHA LANE #1B	TU KHAI H - TE	MARIE C HEBB	2 SAMANTHA LANE #1B		AYER, MA 01432
29-4	75 SANDY POND ROAD #21	COPPOLA CARLY D	S/O JMSM LLC	75 SANDY POND ROAD #21		AYER, MA 01432
22-17	203 SNAKE HILL ROAD	ATWOOD COLETTE F		203 SNAKE HILL ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #4	PEARSON DAVID	S/O JMSM LLC	75 SANDY POND ROAD #4		AYER, MA 01432
29-16	136 SNAKE HILL ROAD	MAGNETTE MITCHELL D - TE	BARBARA J MAGNETTE	136 SNAKE HILL ROAD		AYER, MA 01432
28-142	8 SAMANTHA LANE #A	POWELL MICHAEL H - TE	DANIELLE M POWELL	4A SAMANTHA LANE		AYER, MA 01432
29-4	75 SANDY POND ROAD #25	BARTOLOTTI KIMBERLY	S/O JMSM LLC	75 SANDY POND ROAD #25		AYER, MA 01432
21-15	0 OLD SANDY POND ROAD	HOLLOWAY JAMES R SR	KISOON HOLLOWAY	12 OLD SANDY POND ROAD		AYER, MA 01432
29-9	141 SNAKE HILL ROAD	VALENTINE CHRISTOPHER J	MEAGAN J VALENTINE	141 SNAKE HILL ROAD		AYER, MA 01432
36-218	0 SNAKE HILL ROAD	TOWN OF AYER		1 MAIN STREET		AYER, MA 01432
29-4	75 SANDY POND ROAD #37	COULTER MICHAEL - TE	S/O JMSM LLC	75 SANDY POND ROAD #37		AYER, MA 01432
28-145	1 SAMANTHA LANE #7B	PIJEWSKI CYNTHIA	LAN P VUONG-TU	78 SAMANTHA LANE		AYER, MA 01432
29-4	75 SANDY POND ROAD #11	SINCLAIR PATRICK A	S/O JMSM LLC	75 SANDY POND ROAD #11		AYER, MA 01432
29-4	75 SANDY POND ROAD #32	KELBER PAUL J	S/O JMSM LLC	75 SANDY POND ROAD #32		AYER, MA 01432
29-8	143 SNAKE HILL ROAD	DONAHUE CURTIS K - TE	AMANDA M DONAHUE	143 SNAKE HILL ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #18	ANDRYUSHKIN ALEXANDER - JT	S/O JMSM LLC	75 SANDY POND ROAD #18		AYER, MA 01432
29-4	75 SANDY POND ROAD #6	HOOD MICHAEL J	S/O JMSM LLC	75 SANDY POND ROAD #6		AYER, MA 01432
28-141	6 SAMANTHA LANE	NGUYEN PHU		6 SAMANTHA LANE		AYER, MA 01432
21-17	6 OLD SANDY POND ROAD	MCDOWELL CLEO C - TR	MCDOWELL INVESTMENT TRUST	6 OLD SANDY POND RD		AYER, MA 01432
29-4	75 SANDY POND ROAD #13	CULP DEBORAH E	S/O JMSM LLC	75 SANDY POND ROAD #13		AYER, MA 01432
29-4	75 SANDY POND ROAD #30	BUSK KEITH	S/O JMSM LLC	75 SANDY POND ROAD #30		AYER, MA 01432
22-21	76 SANDY POND ROAD	HAGEL LLC		75 SANDY POND ROAD #30	PO BOX 664	AYER, MA 01432
29-3	145 SNAKE HILL ROAD	LEWIS BRIAN R - TE	KATHLEEN M LEWIS	145 SNAKE HILL RD		AYER, MA 01432
29-4	75 SANDY POND ROAD #44	MALIN KEVIN C	S/O JMSM LLC	75 SANDY POND ROAD #44		AYER, MA 01432
28-144	3 SAMANTHA LANE #6B	THAYER LEAH - TE	JEREMY LIEBOWITZ	PO BOX 377		AYER, MA 01432
29-4	75 SANDY POND ROAD #22	MOLLER HANNAH	S/O JMSM LLC	75 SANDY POND ROAD #22		GROTON, MA 01450

300 foot Abutters List Report



Town Hall
1 Main Street
Ayer, MA 01432

Tel: (978) 772-8220 ext. 140
Email: assessor@ayer.ma.us

Date: 07/27/2023

Subject Property:

Parcel	Physical Address	Owner1	Owner2	Mailing Address 1	Address 2	Community, State ZIP
29-1	71 SANDY POND ROAD	VELARDI MARK		71 SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #8	Owner1	Owner2	Mailing Address 1	Address 2	Community, State ZIP
29-2	75 SANDY POND ROAD #8	COBUZZI BARBARA M	S/O JMSM LLC	75 SANDY POND ROAD #8		AYER, MA 01432
21-48	142 SNAKE HILL ROAD	REYNOLDS NORMAN J - JT	PHYLLIS E REYNOLDS	142 SNAKE HILL RD		AYER, MA 01432
29-4	0 FLETCHER'S POND	HADLEY ROBERT E		138 CENTRAL AVENUE		AYER, MA 01432
29-4	75 SANDY POND ROAD #39	LEBLANC PAUL - TE	S/O JMSM LLC	75 SANDY POND ROAD #39		AYER, MA 01432
29-4	75 SANDY POND ROAD #3	FILBROW DIANE J	S/O JMSM LLC	75 SANDY POND ROAD #3		AYER, MA 01432
21-16	75 SANDY POND ROAD #20	BATES JULIE A	S/O JMSM LLC	100 GOODALE ROAD		MARLBOROUGH, MA 01752
29-4	0 OLD SANDY POND ROAD	TOWN OF AYER		1 MAIN STREET		AYER, MA 01432
29-4	75 SANDY POND ROAD #48	LAFARGUE ROSE M	S/O JMSM LLC	75 SANDY POND ROAD #48		AYER, MA 01432
29-4	75 SANDY POND ROAD #34	LAFORTUNE MAUREEN	S/O JMSM LLC	75 SANDY POND ROAD #34		AYER, MA 01432
35-1	11 COPELAND DRIVE	EPIC ENTERPRISES INC		11 COPELAND DRIVE		AYER, MA 01432
29-4	75 SANDY POND ROAD #15	JOHNSON KENNETH R - TE	S/O JMSM LLC	75 SANDY POND ROAD #15		AYER, MA 01432
29-4	75 SANDY POND ROAD #46	KAYONDO RICHARD	S/O JMSM LLC	75 SANDY POND ROAD #46		AYER, MA 01432
22-31	147 SNAKE HILL ROAD	STORLAZZI JARED		147 SNAKE HILL ROAD		AYER, MA 01432
29-14	137 SNAKE HILL ROAD	FEELEY ROBERT F	LAUREN AMANDA HALLETT	137-139 SNAKE HILL ROAD		AYER, MA 01432
28-139	2 SAMANTHA LANE #1A	HEBB BRIAN E - TE	MARIE C HEBB	498 NEWTOWN ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #29	LIN FENG	S/O JMSM LLC	1 WILDFLOWER LANE		LITTLETON, MA 01460
22-16	206 SNAKE HILL ROAD	MARTIN CHRISTOPHER S - TE	PAMELA L MARTIN	206 SNAKE HILL ROAD		GROTON, MA 01450
29-4	75 SANDY POND ROAD #27	CHENARD DIANE	S/O JMSM LLC	75 SANDY POND ROAD #27		AYER, MA 01432
29-4	75 SANDY POND ROAD #10	BALULESCU MOLLY C	S/O JMSM LLC	75 SANDY POND ROAD #10		AYER, MA 01432
22-19	14 OLD SANDY POND ROAD	GONZALEZ LJUIS		14 OLD SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #41	BIRMINGHAM NICHOLAS F	S/O JMSM LLC	75 SANDY POND ROAD #41		AYER, MA 01432
29-4	75 SANDY POND ROAD #1	SPAULDING KRISTAL L - TE	S/O JMSM LLC	2 LITTLETON ROAD #41		AYER, MA 01432
28-143	58 SANDY POND ROAD	WICK SCOTT T - TE	DANA N WICK	58 SANDY POND RD		AYER, MA 01432
29-4	10 SAMANTHA LANE #B	BUWEMBO ANNA NALUGYA	S/O JMSM LLC	10 SAMANTHA LANE #B		AYER, MA 01432
29-4	75 SANDY POND ROAD #45	HECK DEBORAH JEAN	S/O JMSM LLC	75 SANDY POND ROAD #45		AYER, MA 01432
29-4	75 SANDY POND ROAD #5	POTTER JEANNE M	S/O JMSM LLC	75 SANDY POND ROAD #5		AYER, MA 01432
29-4	75 SANDY POND ROAD #86	HUTSON CHRISTOPHER W - TE	S/O JMSM LLC	75 SANDY POND ROAD #86		AYER, MA 01432
28-145	1 SAMANTHA LANE #7A	VUONG DAN C - TE	LAN P VUONG-TU	7A SAMANTHA LANE		AYER, MA 01432
29-4	75 SANDY POND ROAD #19	TATAVARTI KALYAN	S/O JMSM LLC	14 ABENAKI ROAD		AYER, MA 01432
29-7	145 SNAKE HILL ROAD	LEWIS BRIAN R - TE	KATHLEEN M LEWIS	145 SNAKE HILL RD		NORTHBORO, MA 01532
21-4	12 OLD SANDY POND ROAD	CARAWAN WILLIAM F - TE	ELIZABETH S CARAWAN	12 OLD SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #17	MATSON JANE REED - TR	S/O JMSM LLC	1 HARVARD ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #81	ARSENAULT DAVID M	S/O JMSM LLC	75 SANDY POND ROAD #81		AYER, MA 01432
36-214	0 SNAKE HILL ROAD	RIDGE VIEW REALTY TRUST	POINTER FRANK,ROPER,ROUTHIE	PO BOX 863		AYER, MA 01432
29-3	145 SNAKE HILL ROAD	LEWIS BRIAN R - TE	KATHLEEN M LEWIS	145 SNAKE HILL RD		AYER, MA 01432
28-1	65 SANDY POND ROAD	ZAKER MOHAMED		65 SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #12	RUTTERS BROOK LLC	S/O JMSM LLC	46 DURANT AVENUE		MAYNARD, MA 01754
29-4	75 SANDY POND ROAD #26	PEARSON MATTHEW	S/O JMSM LLC	75 SANDY POND ROAD #26		AYER, MA 01432
29-4	8 SAMANTHA LANE #43	SULLIVAN JOHN	S/O JMSM LLC	75 SANDY POND ROAD #43		AYER, MA 01432
28-142	75 SANDY POND ROAD #4B	CARROLL REBECCA F	DANIELLE M POWELL	8 SAMANTHA LANE #4B		AYER, MA 01432
21-5	62 SANDY POND ROAD	TURGEON JEFFRIE S	FELICITY A TURGEON	62 SANDY POND ROAD		AYER, MA 01432
29-4	75 SANDY POND ROAD #7	MCADAM VINCENT P	S/O JMSM LLC	75 SANDY POND ROAD #7		AYER, MA 01432
29-4	75 SANDY POND ROAD #38	WIENER THOMAS H - TE	S/O JMSM LLC	2403 LISBON LANE		AYER, MA 01432
29-4	75 SANDY POND ROAD #24	PETERSON SUZANNE	S/O JMSM LLC	75 SANDY POND ROAD #24		ALEXANDRIA, VA 22306
29-6	140 SNAKE HILL ROAD	DUREPO RENE LEE JR		140 SNAKE HILL ROAD		AYER, MA 01432
28-118	59 SANDY POND ROAD	TURRA EUGENE F		57 SANDY POND ROAD		AYER, MA 01432
28-144	3 SAMANTHA LANE #6A	THAYER LEAH - TE	JEREMY LIEBOWITZ	PO BOX 377		GROTON, MA 01450

300 foot Abutters List Report



Town Hall
1 Main Street
Ayer, MA 01432

Tel: (978) 772-8220 ext. 140
Email: assessor@ayer.ma.us

Date: 07/27/2023

Subject Property:

Parcel	Physical Address	Owner1	Owner2	Mailing Address 1	Address 2	Community, State ZIP
29-1	71 SANDY POND ROAD VELARDI MARK			71 SANDY POND ROAD		AYER, MA 01432
Parcel	Physical Address	Owner1	Owner2	Mailing Address 1	Address 2	Community, State ZIP

* The above list is a true copy of the records in the Town of Ayer Assessor's office for the last known names and addresses of owners of land abutting the the subject to MGL Chapter 40A Sec. 11.
Certified:

Board of Assessors

James P. Leger
Nicholas P. Leger
Ruth Harant-Schuy

Notification to Abutters
Under the MASSACHUSETTS WETLANDS PROTECTION ACT
AND AYER WETLANDS PROTECTION BYLAW
[CMR 310 10.00 & Chapter 300 of the Town's General Bylaws]

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

Applicant: North Country Developers, LLC

Municipality: Ayer

Project Description (as it applies under the Massachusetts Wetlands Protections Act and the Ayer Wetlands Protection Bylaw): The construction of two (Lots 1 & 2) multi-family residential (duplex) units within the 100 foot Buffer Zone to a Bordering Vegetated Wetland .

Address of Lot where project is proposed:

71 Sandy Pond Road – Ayer, Mass.
(Assessor's Map 29 – Parcel 1)

For more information, call: 978-772-8220 Ext. 143

The applicant has filed a Notice of Intent with the Ayer Conservation Commission and is seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (Massachusetts General Law Chapter 131, Section 40).

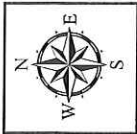
Copies of the above referenced filing may be examined at the Conservation Commission Office, Town Hall, 1 Main Street, Ayer, MA, between the hours of 10:00 a.m. and 1:00 p.m., Wednesdays and Fridays. Please schedule an appointment by calling (978) 772-8249.

Copies of the Notice of Intent may be obtained from the Applicants Representative by calling this telephone number: (978) 772-6232 between 8:00 and 3:30 - Monday through Friday, (\$20.00 copying cost).

Information regarding the date, time, and place of the hearing may be obtained from the Ayer Conservation Office by calling 978-772-8249 between the hours of 9:30 a.m. and 1:30 p.m., Wednesdays and Fridays.

Note: Notice of the public hearing, including its date, time, and place, will be published at least five (5) business days prior to the hearing date in *Nashoba Valley Voice* newspaper. Such notice will also be posted at the Ayer Town Hall no fewer than forty-eight (48) hours in advance of the meeting.

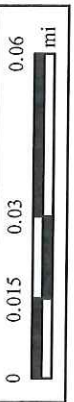
MRMMapper WebMap



- Parcel Boundaries
- Other Legal Features
 - Easements
- Miscellaneous Features
 - Former Shore
 - Future Lot
 - Island
 - Traffic Island
 - Water
- MRPC Communities
- Surrounding Communities
- Interstate Routes
 - Interstate Routes
- US & State Routes
 - US & State Routes
- Other Roadways
 - Other Roadways
- MB TA Commuter Rail Stations
- Active Rail Lines
 - Commuter Rail Line
 - Other Active Rail Lines



DISCLAIMER: The Assessor's data were developed for tax valuation purposes only and are not derived from legal surveys or legal descriptions. The Town of Ayer & the MRPC explicitly disclaims any representations and warranties as to the accuracy, timeliness, or completeness of the Assessor's data. The Assessor's data were created from multiple Town, County, State and Federal sources, and such sources could contain errors. The Assessor's data should not be used for any purpose requiring exacting measurement of distance or direction. In no event will the Town of Ayer, the MRPC, or their officers or employees be liable for any losses or damages that might arise from the use of the Assessor's data. The Town of Ayer & the MRPC shall not be held liable for any damages, including reasonable attorneys' fees, arising from the use of the Assessor's data.



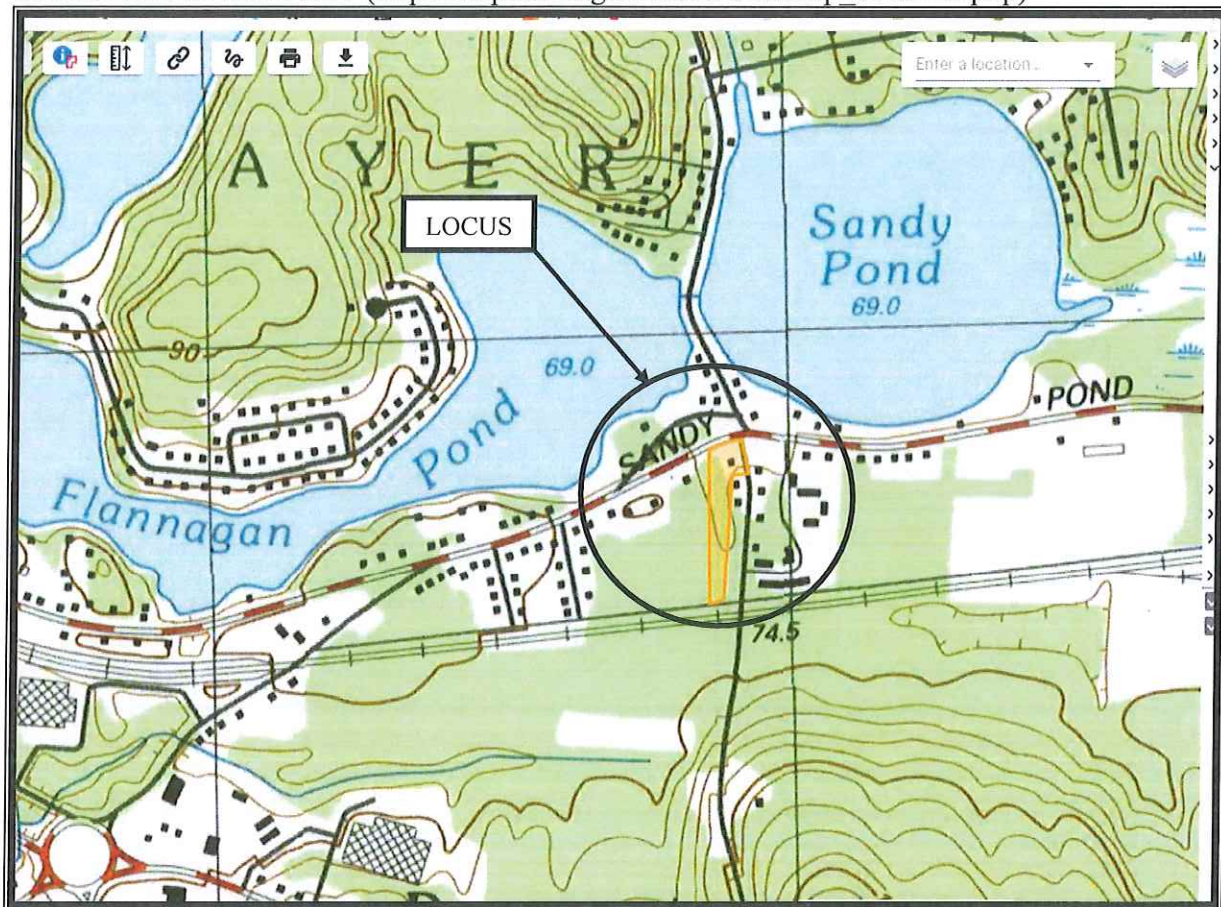
DAVID E. ROSS ASSOCIATES, INC.

Civil Engineers, Land Surveyors, Environmental Consultants

USGS

Site: #71 Sandy Pond Road – Ayer, MA 01432
(Map 29 – Parcel 1)

Source: Current Mass GIS (http://maps.massgis.state.ma.us/map_ol/oliver.php)



DAVID E. ROSS ASSOCIATES, INC.

Civil Engineers, Land Surveyors, Environmental Consultants

NHESP

Site: #71 Sandy Pond Road – Ayer, MA 01432
(Map 29– Parcel 1)

Source: Current Mass GIS (http://maps.massgis.state.ma.us/map_ol/oliver.php)



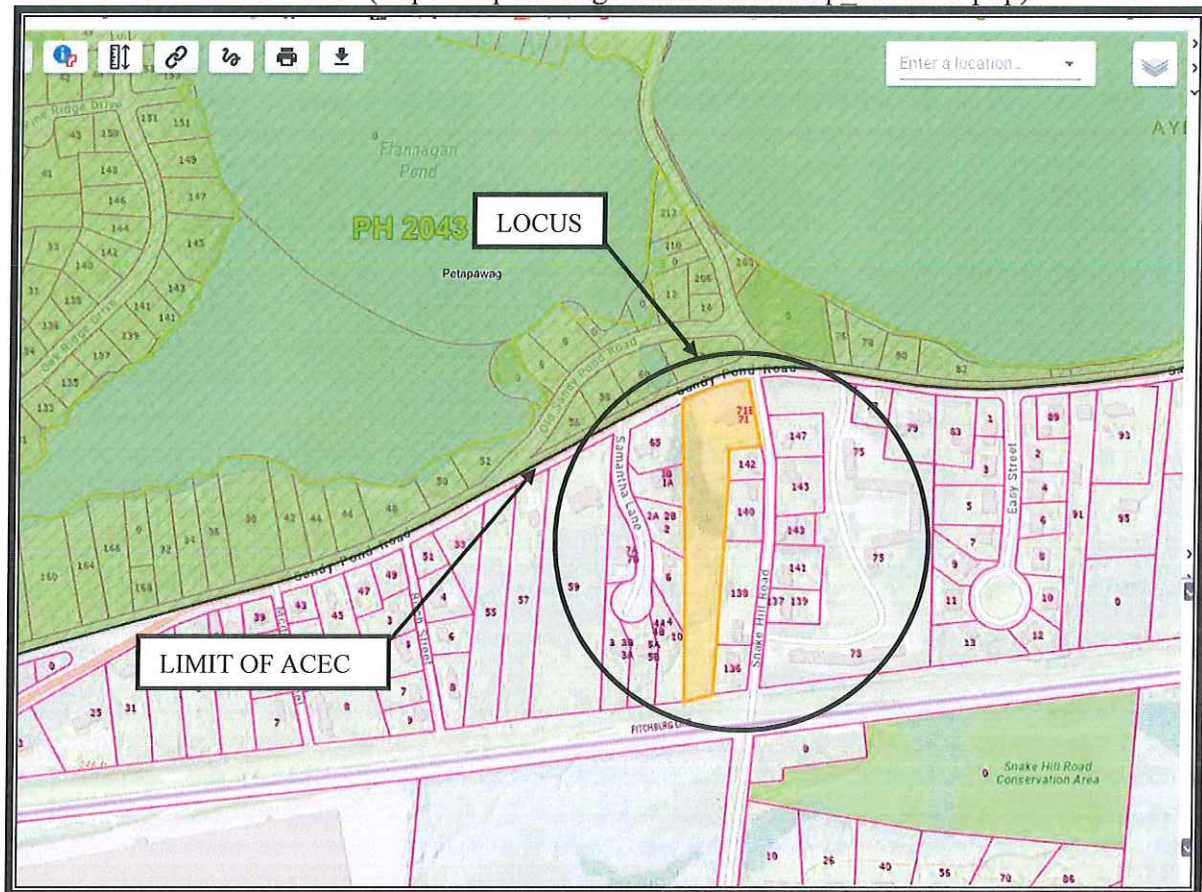
DAVID E. ROSS ASSOCIATES, INC.

Civil Engineers, Land Surveyors, Environmental Consultants

ACEC

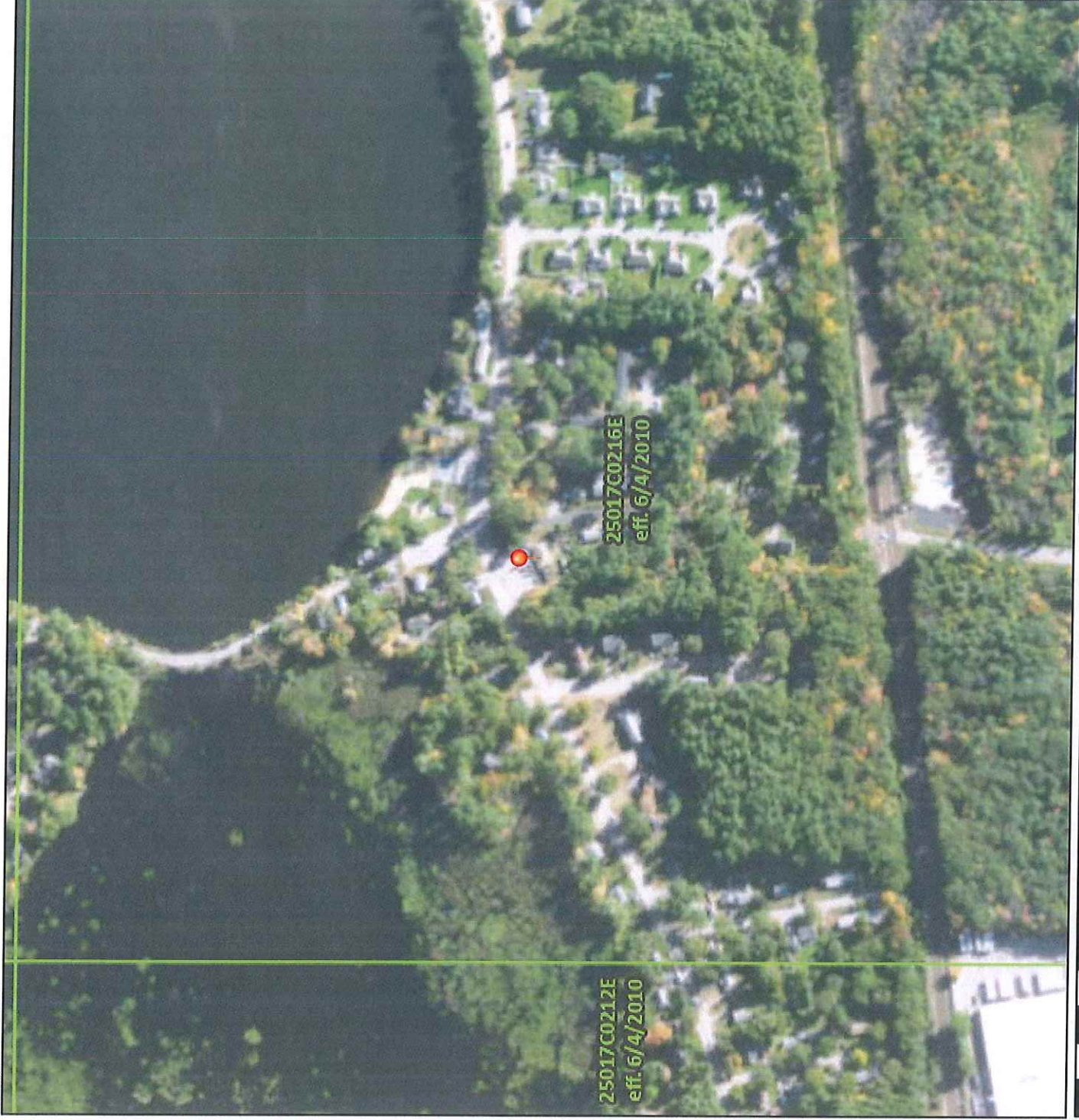
Site: #71 Sandy Pond Road – Ayer, MA 01432
(Map 29– Parcel 1)

Source: Current Mass GIS (http://maps.massgis.state.ma.us/map_ol/oliver.php)



National Flood Hazard Layer FIRMette

71°33'50"W 42°33'45"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

71°33'13"W 42°33'19"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone 1*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS

- NO SCREEN
- Area of Minimal Flood Hazard *Zone X*
- Effective LOMIRs
- Area of Undetermined Flood Hazard *Zone X*

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance Water Surface Elevation

- 20.2
- 17.5
- 8
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

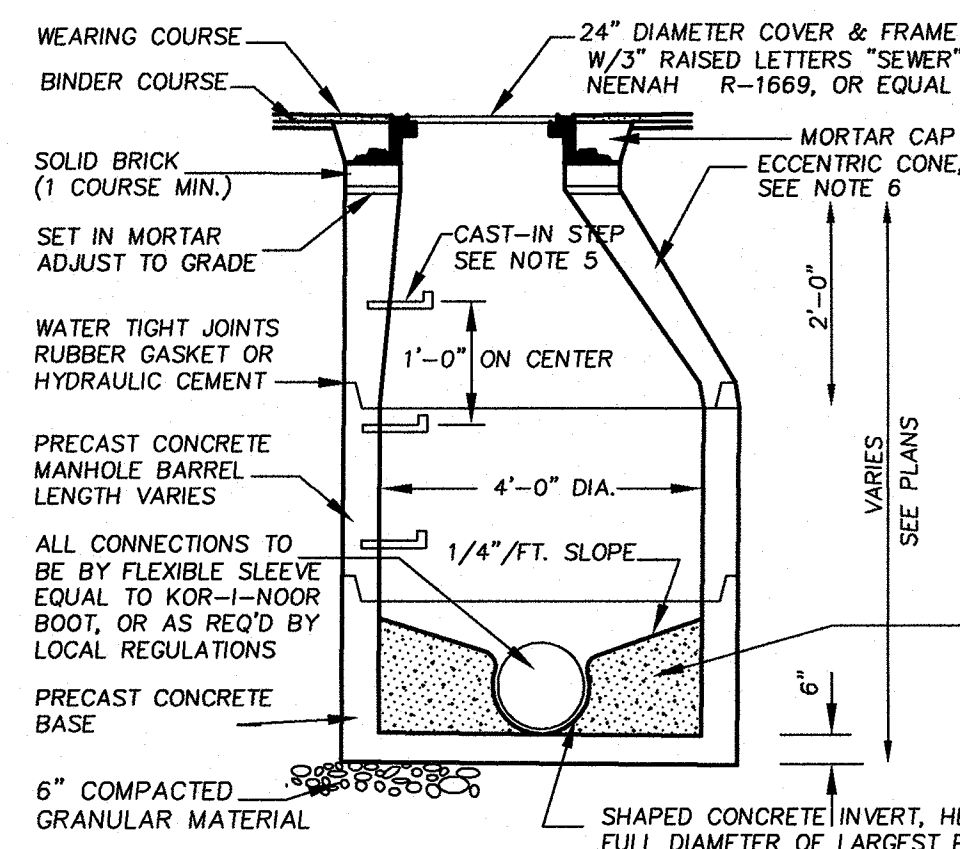


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

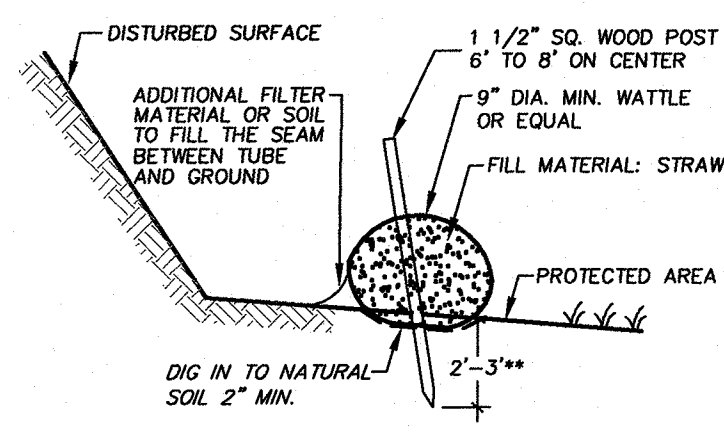
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/21/2023 at 7:08 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

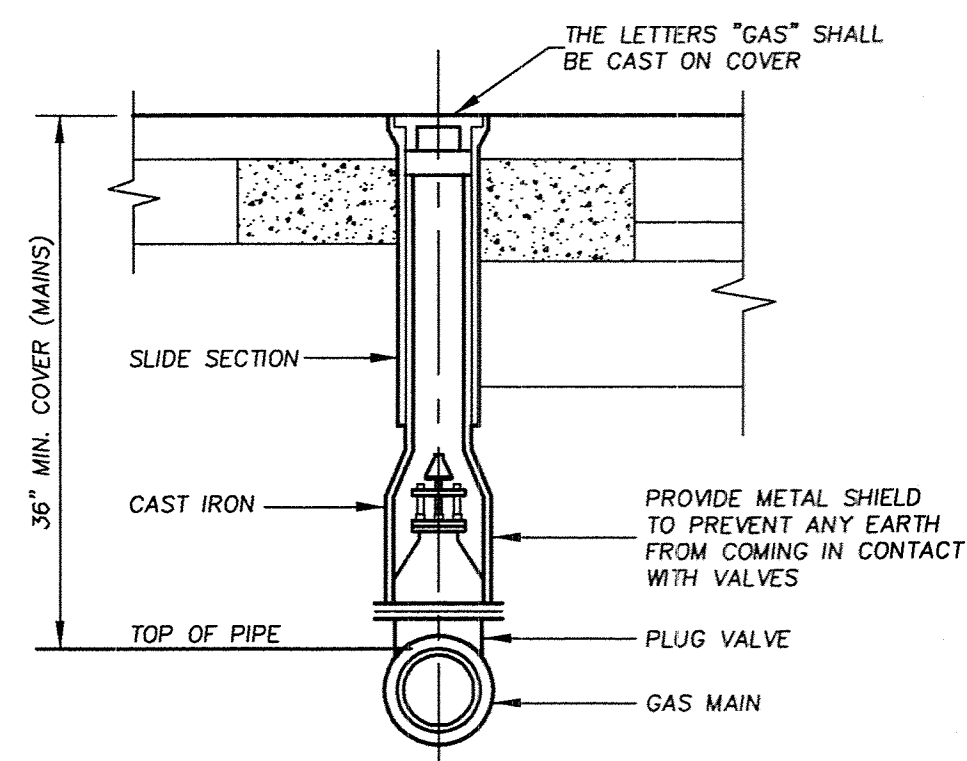


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 4. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.
 6. IN AREAS WHERE COVER IS 3' OR LESS ABOVE PIPES, USE FLAT TOP SLAB IN LIEU OF ECCENTRIC CONE SECTION.

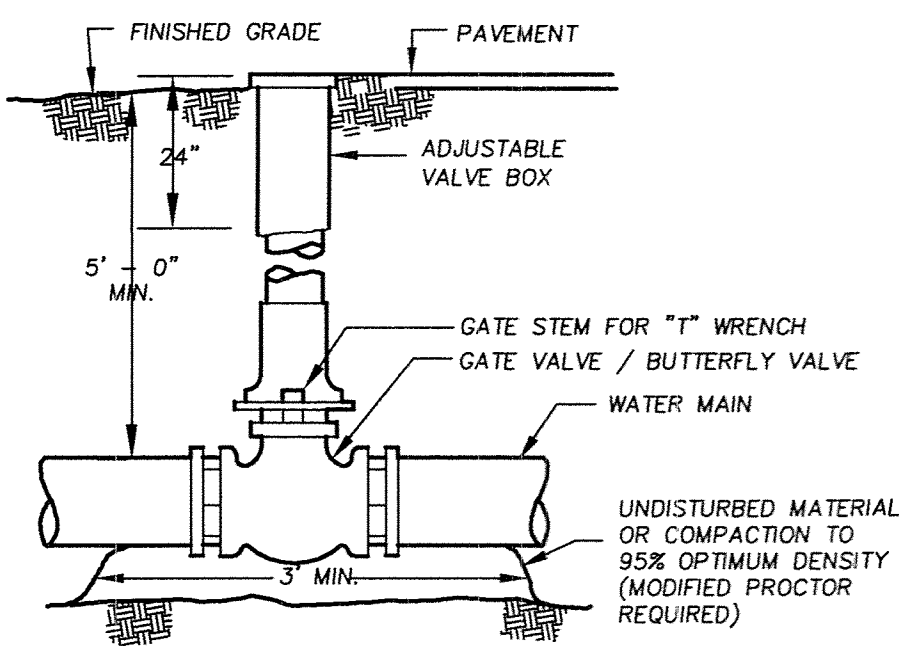
SEWER MANHOLE DETAIL
NOT TO SCALE



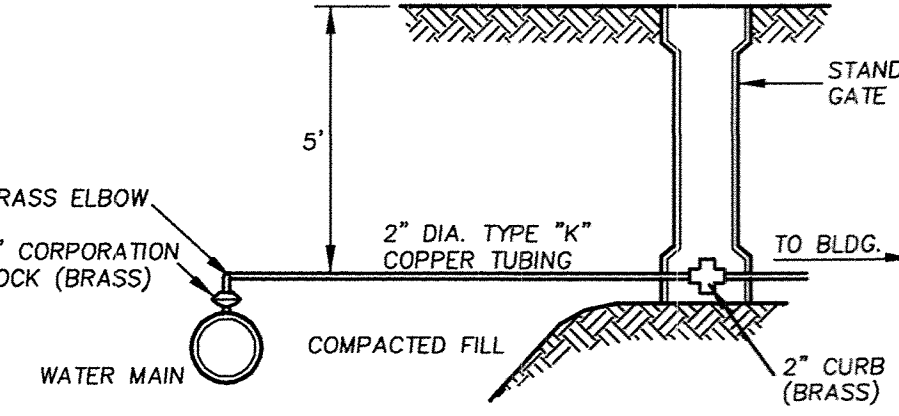
SILTATION BARRIER WATTLE DETAIL
NOT TO SCALE



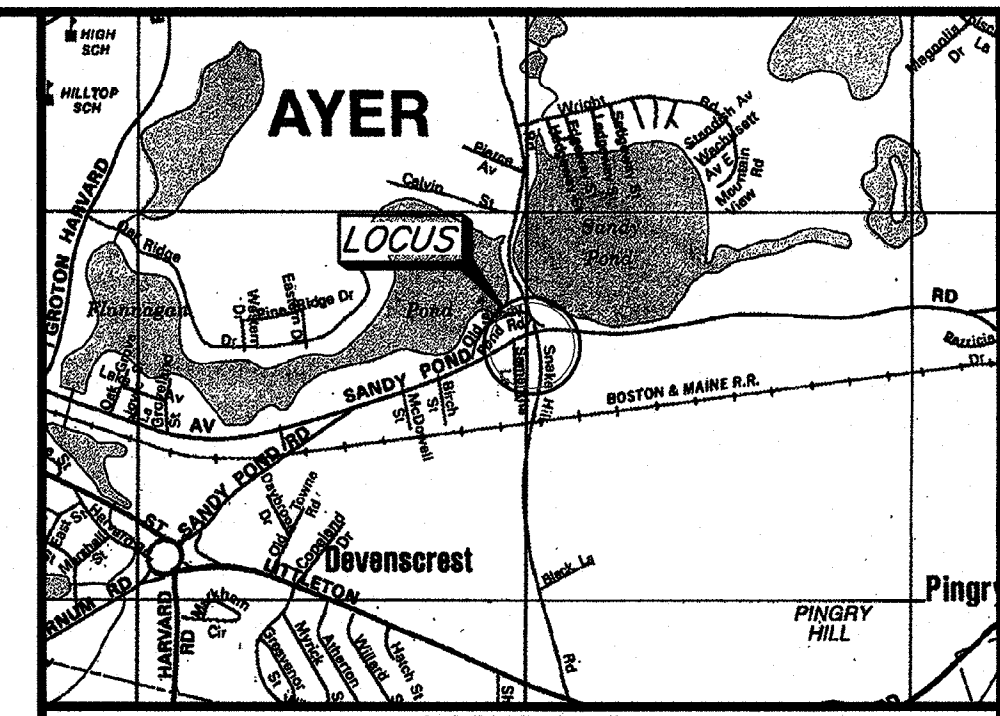
GAS VALVE BOX DETAIL
NOT TO SCALE



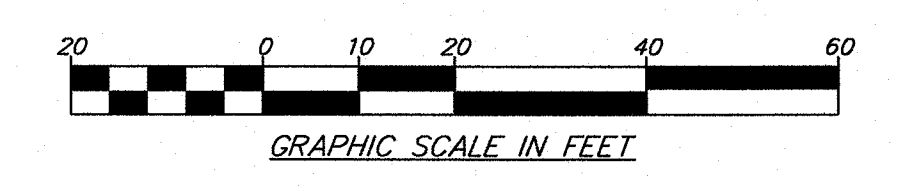
GATE VALVE DETAIL
NOT TO SCALE



WATER SERVICE CONNECTION
NOT TO SCALE



NOTES:
THE EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY WAS COMPLETED BY DAVID E. ROSS ASSOCIATES INC. IN MAY OF 2023.
WETLAND DELINEATION PERFORMED BY DAVID E. ROSS ASSOCIATES, INC. IN APRIL OF 2023.
TOPOGRAPHY SHOWN IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1983 (N.A.V.D. 83)
THE PLAN DEPICTS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.



SURV:	SPM	CALC.:	KRC	DRAFT:	BJD
NO.:	844/30	DEED:	81572/347	CHECK:	DBW

REVISIONS

NO.	DESCRIPTION

PROFESSIONAL SEAL: DANIEL B. WOLFE, CIVIL ENGINEER, No. 36523, REGISTERED PROFESSIONAL ENGINEER. Date: 9-25-23.

SHEET TITLE: **SITE PLAN**

DESIGNED FOR: **NORTH COUNTRY DEVELOPERS, LLC**

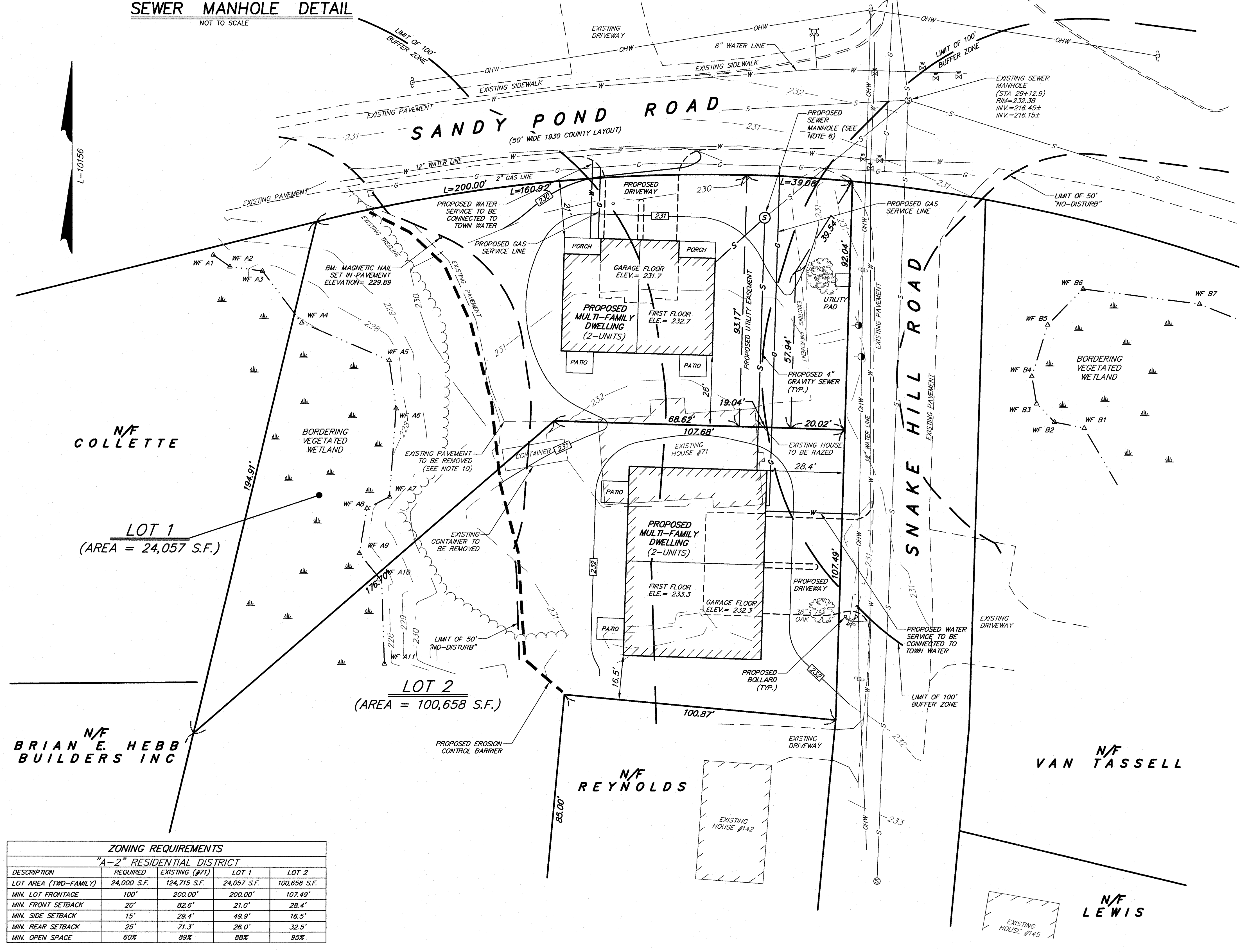
ADDRESS: **71 SANDY POND ROAD, AYER, MA**

LOT NO.:	ASSESSOR MAP:	ASSESSOR PARCEL:
1 - 2	29	1

DAVID E. ROSS ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS

6 Lancaster County Road, P.O. Box 795, Harvard, MA 01451-0795
978-772-8232, FAX 978-772-8258, www.davidross.com

SCALE: 1"=20', DATE: SEPTEMBER, 2023
REF.: L-10156, PLAN NO.: L-14703
JOB NO.: 34.325, SHEET NO.: 1 of 1



ZONING REQUIREMENTS
"A-2" RESIDENTIAL DISTRICT

DESCRIPTION	REQUIRED	EXISTING (#71)	LOT 1	LOT 2
LOT AREA (TWO-FAMILY)	24,000 S.F.	124,715 S.F.	24,057 S.F.	100,658 S.F.
MIN. LOT FRONTAGE	100'	200.00'	200.00'	107.49'
MIN. FRONT SETBACK	20'	82.6'	21.0'	28.4'
MIN. SIDE SETBACK	15'	29.4'	49.9'	16.5'
MIN. REAR SETBACK	25'	71.3'	26.0'	32.5'
MIN. OPEN SPACE	60%	89%	88%	95%



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October 12, 2023

Town of Ayer Conservation Commission
c/o John Schmaleberger, Chair
Ayer Town Hall
One Main Street
Ayer, MA 01432

RE: Request for Extension of Amended Order of Conditions
Ayer Solar IIB, 0 Washington Street, Ayer, MA
DEP File # 100-0444
Middlesex South Registry of Deeds Bk: 81942 Pg: 1

Dear Chairperson Schmaleberger and Commission Members,

On behalf of our client, Ayer Solar II LLC, Rohit Garg, located at 2690 Heather Way, Suite 100, Ann Arbor, MI 48104, we respectfully request an extension of the Amended Order of Conditions referenced above. While work within the development is currently in its final stages, the complete vegetative cover of all areas has not been achieved. With winter months approaching and the halting of seasonal germination, we request an extension of 1 year to allow for the ability of corrective actions (if needed) to occur under the current permit.

Sincerely,
Goldsmith, Prest & Ringwall, Inc.

Nicholas Pauling, PE

Copy to: Ayer Solar II, LLC
GPR File# 171002

Goldsmith, Prest & Ringwall, Inc.