

Ayer Police Station Fence and Trim Replacement



Ayer Facilities Department
FY24 Capital Request







Purchase Description Fencing

Property Line

- (1) 180 Feet
- (2) 8 Ft Commercial grade white vinyl privacy panels
- (3) 8 Ft white post reinforced with an interior 4x4 P.T post
- (4) All Posts need to be secured with at least 240 pounds of concrete

Dumpster Area

- (1) 32 Feet
- (2) 8 Ft Commercial grade cedar stockade privacy panels
- (3) 8 Ft 4x4 cedar post
- (4) All Post needs to be secured with at least 240 pounds of concrete







Purchase Description

Fascia and Soffit Trim Repairs

- (1) Remove rotten fascia and soffit trim board
- (2) Install new white PVC fascia and soffit trim board to damaged areas
- (3) The Facilities Department would like to replace the entire northeast side of the building fascia trim due to the extent of rot.
- (4) Only replace the soffit in the damaged areas
- (5) Paint to blend in new with old
- (6) Evaluate the extent of damage while rotten trim is removed



Funding Request / Cost Break Down

LINE	ITEM	sub- contractor	Quote #	QTY	LOCATION	UNIT COST	EXT COST	NOTES
1	180ft of 8ft white privacy fencing	mutiple quotes	2 QUOTES / 1 VERBAL	1	Police Station	\$24,000.00	\$24,000.00	Jans / Reliable / Camblin Fence companies
2	35ft of 8ft wooden stockade fencing	mutiple quotes	2 QUOTES / 1 VERBAL	1	Police Station	\$5,000.00	\$5,000.00	Jans / Reliable / Camblin Fence companies
3	135ft white 1/6 pvc trim	Classic Construction	VERBAL	1	Police Station	\$10,000.00	\$10,000.00	Verbal received pricing
5	Removal and Disposal	Mutiple quotes	2 QUOTES / 1 VERBAL	1	Police Station	\$4,000.00	\$4,000.00	Jans / Reliable / Camblin Fence companies
						Product Total	\$43,000.00	
						Sales Tax	\$-00	
						Freight	\$-00	
						Delivery and Installation	included	
				Project Total			\$43,000.00	

Procurement Status			
1	Fencing	Received 3 Quotes for the new fencing including all work	MGL 30B / 149A
2	Trim Work	Received a verbal quote to replace the fascia trim / construction cost to votatile to formal quote a year in advance	MGL 30B / 149A

Notes for Trim work:

- (1) \$10,000.00 is only going to fund replacing extremely damaged areas
- (2) If the Town replaced all 180 Ft of fascia and soffit trim on the Northeast side of the building, it would cost over \$40,000.00 (verbal quote)
- (3) Depending on the fence cost and the amount of trim damage. There might be a phase 2 request in FY25

Notes for Fence work:

- (1) The requested \$33,000.00 is expected to cover a complete replace of the old fence with a new vinyl fence (2 Written and 1 Verbal quote procured to determine funding request)
- (2) If construction supply cost continues to balloons. The Facilities Department will use the trim funding to help cover the cost of the fence replacement. Then repair as much trim as possible with remaining funding
- (3) The normal 5-10% change order cost line was not added to this project to help keep the funding request at a minimum

End of Ayer Police Station
Fence and Trim Replacement
FY24 Capital request

Questions on project?

Ayer Fire Station

Fire Station HVAC Repairs



Ayer Facilities
Department FY24 Capital
Request

Project Objective

(1) Completely replace the 19-year-old and often failing 20-ton R-22 / gas fed Roof Top Unit

- This unit has taken on 19 severe New England Winters sitting on top of the Fire Station. Compared to other buildings, this unit isn't protected from the weather with tree lines or other buildings. It sits near the end of our downtown corridor
- If we have a sealed system repair or compressor replacement. The estimated cost of a compressor replacement is around \$20,000.00 with unknown lead times. Additionally, R-22 cost are around \$100.00 per pound with our seal system needing between 60lbs – 80lbs of R-22
- While completing repairs to our heat exchanger it was found that our economizer has failed with a repair cost of \$4,000.00

(2) Replacing and reengineering the Roof Top Units curbing. Due to poor original design and failed sheet metal work

- While completed a full inspection of the unit in preparation of this request. It was found that the roof top unit is sitting on a poorly designed curbing system. The original sheet metal installers used additional strips of sheet metal to connect the RTU to the ventilation system. These metal strips have since failed, leaving large gaps between the return, supply, and mixing vents, create poor static pressure and poor efficiency

(3) Disconnecting outdated buildings automation HVAC system wiring. Running a single CAT6 wire to connect RTU BACnet card to Jace. Eliminating unnecessary wiring cost

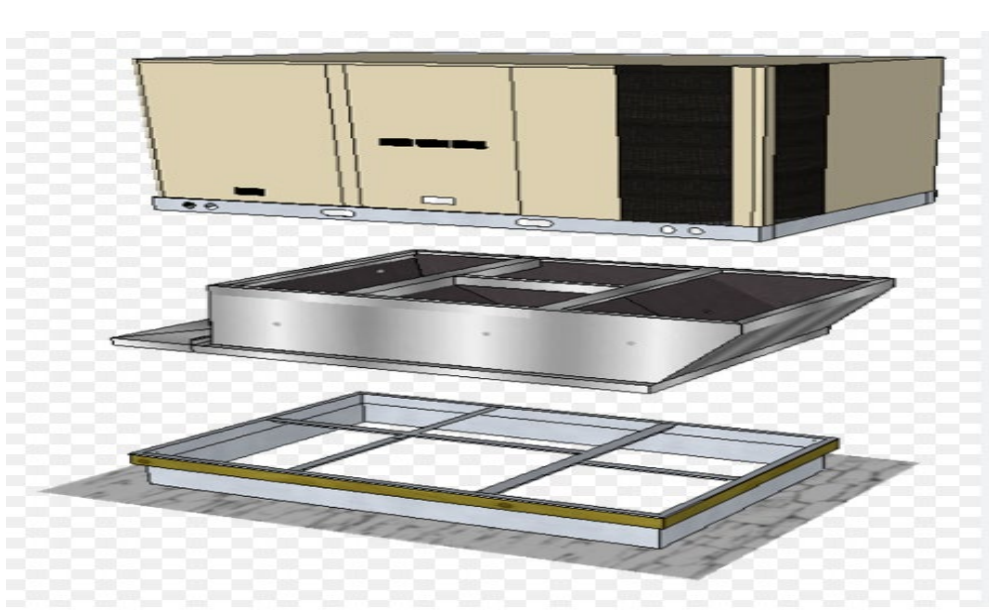
- Installing a new BACnet protocol RTU would allow the installer to run a single CAT6 wire to eliminate the need and high cost to run relays to each control point

(4) If funding allows fine tune furnace, complete any needed repairs to VAV boxes, Return ventilation system, and HW system

- The Facilities Department believes every dollar of funding will be needed to install a new RTU. If there is any available funding after the new RTU is installed. We would complete minor repairs to the boiler, control system, and HW system







Funding Request / Cost Break Down

LINE	ITEM	sub- contractor	Quote - Pricing	QTY	LOCATION	UNIT COST	EXT COST	NOTES
1	20-Ton Packaged Gas / Electric RTU	Trane	a1-179727-1	1	Fire Station	\$30,000.00	\$30,000.00	# per Trane FOB
2	Rigging	N.E Rigging	DOC G703	1	Fire Station	\$5,000.00	\$5,000.00	2 quotes from Riggers
3	Demo and Removal	TBD	423-2	1	Fire Station	\$7,000.00	\$7,000.00	Pricing est. for PD RTU replacement 6/5/22
4	Control Work	Trane	Tie-in BAS Controls	1	Fire Station	\$10,000.00	\$10,000.00	# per Trane Controls
5	Bond - Insurance - over head	TBD	DOC G703	1	Fire Station	\$10,500.00	\$10,500.00	Pricing est. for PD RTU replacement 6/5/22
6	Labor	TBD	DOC G703	1	Fire Station	\$9,700.00	\$9,700.00	Pricing est. for PD RTU replacement 6/5/22
7	Start-up - O&M - Shop Drawing	TBD	DOC G703	1	Fire Station	\$4,000.00	\$4,000.00	Pricing est. for PD RTU replacement 6/5/22
8	Engineering for curbing - change orders	TDB	TDB	1	Fire Station	\$8,000.00	\$8,000.00	# per HVAC repair verbal
9	Electrical - Gas Piping	TBD	DOC G703	1	Fire Station	\$3,900.00	\$3,900.00	Pricing est. for PD RTU replacement 6/5/22
						Product Total	\$88,100.00	
						Sales Tax	\$-00	
						Freight	\$-00	
						Delivery and Installation	included	
				Project Total			\$88,100.00	

Procurement Status			
1	New RTU	Quoted pricing for RTU by Trane	MGL 30B / 149A - IFB
2	Control Work	Quoted pricing for Control work by Trane Controls	MGL 30B / 149A - IFB
3	Labor / installation / insurance	Used 40 - 50% of the PD RTU replacement project for the best estimation of these cost	MGL 30B / 149A - IFB
4	Curbing	Verbal quote from HVAC repair company	MGL 30B / 149A - IFB

End of Ayer Fire Station HVAC Repairs FY24 Capital request

Questions on project?

Ayer Town Hall

Office Renovations / Repairs / Acoustics



**Ayer Facilities
Department FY24
Capital Request**

Repairs

- (1) As a continuation of a successful FY23 Phase 1 Gutter and Roof repair request, this funding request will be used to continue the work to repair the interior wall damage
- (2) After completing inspections and repairs to the slate roof and gutters. It was found that a Phase 2 Gutter and Roof repair request is not needed at this time. Another funding request will be made in FY27 to continue the much-needed preventive maintenance
- (3) Within the \$30,000.00 FY23 budget, Specialized Roofing was able to replace all the leaking, broken, and problematic pieces of slate. Add two new copper downspouts to resolve our water pooling issues. Seal the broken solder joints with elastomeric polyurethane silicone
- (4) The repair budget within this funding request will repair the three most damaged interior walls (Great Hall Columbia Street front corner, Bottom of the staircase bank side exit, and the Columbia Street wall in the Great Hall). These walls moisture readings are extremely low since gutter and slate roof repairs.
- (5) Additional funding will be needed for wall damage repairs throughout the Town Hall, but the Facilities Department is not ready to execute this repairs in FY24.

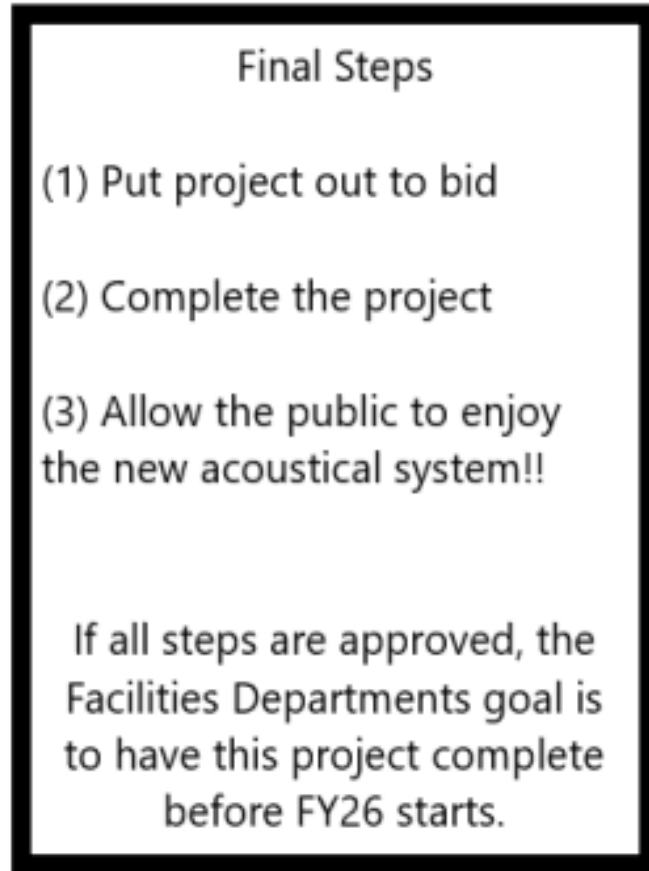






- Four Step Process
- We are current working on step 1
- This funding request will allow us to work on step two in FY24

Acoustics



Step 1

The Facilities Department is current collaborating with a Town volunteer that has years of experience attending Great Hall events.

Our goal is to put together a comprehensive Great Hall acoustic / sound system design proposal.

Step one has been funded using the Facilities Department operational budget.

Step 2

If the FY24 Town Hall capital request is approved. The Facilities Department will hire a architectural acoustical firm to create a formal design solution to present to the Town. These designs will be created from our step one findings.

Hold public meetings to present the proposed design.

Present the design to the Massachusetts Historical Commission for approval (this request is mandatory due to the 2002 Town Hall renovation).

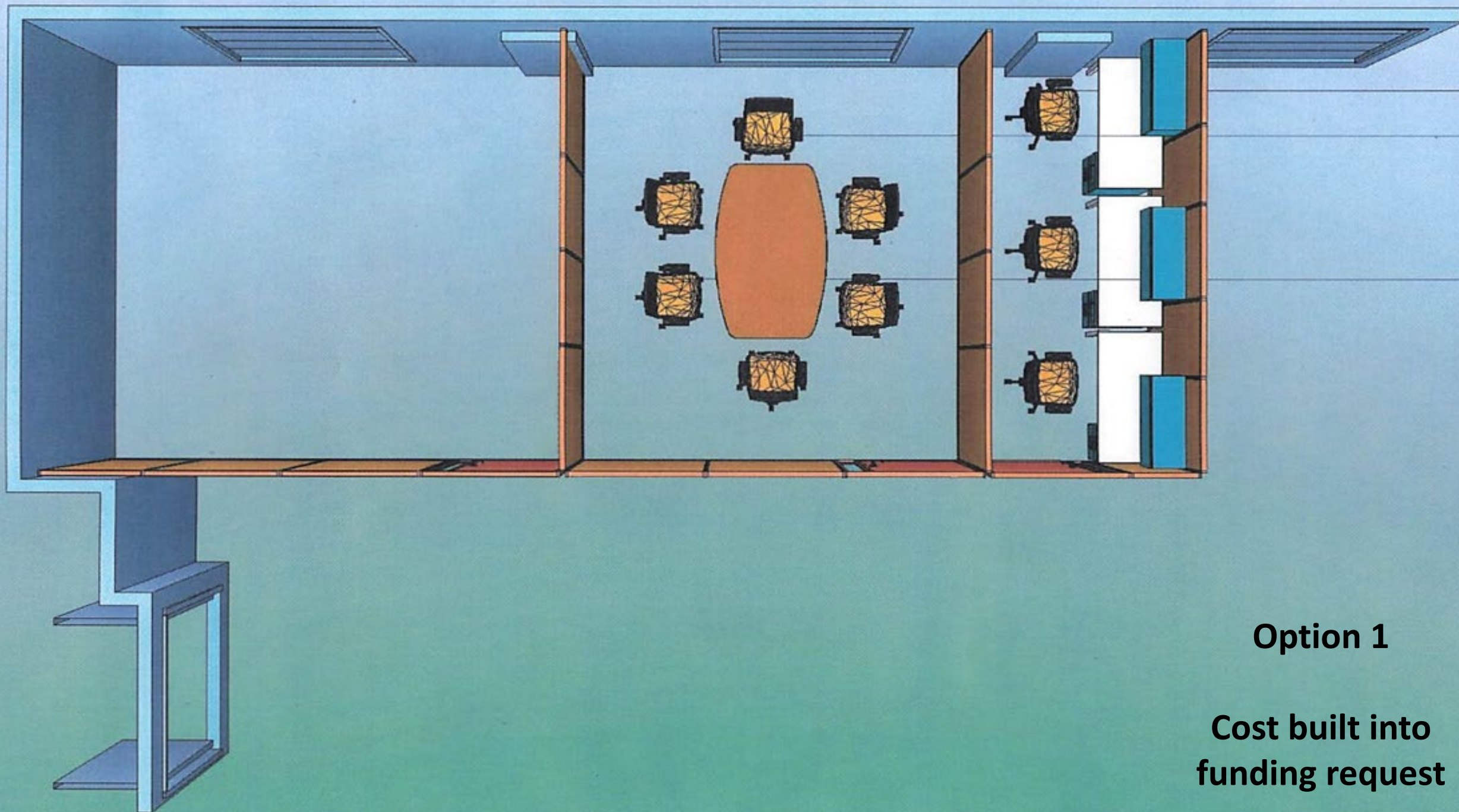
Step 3

If all is approved, present funding request to either FY25 or FY26 Capital Committee for possible Town meeting approval.

Renovations

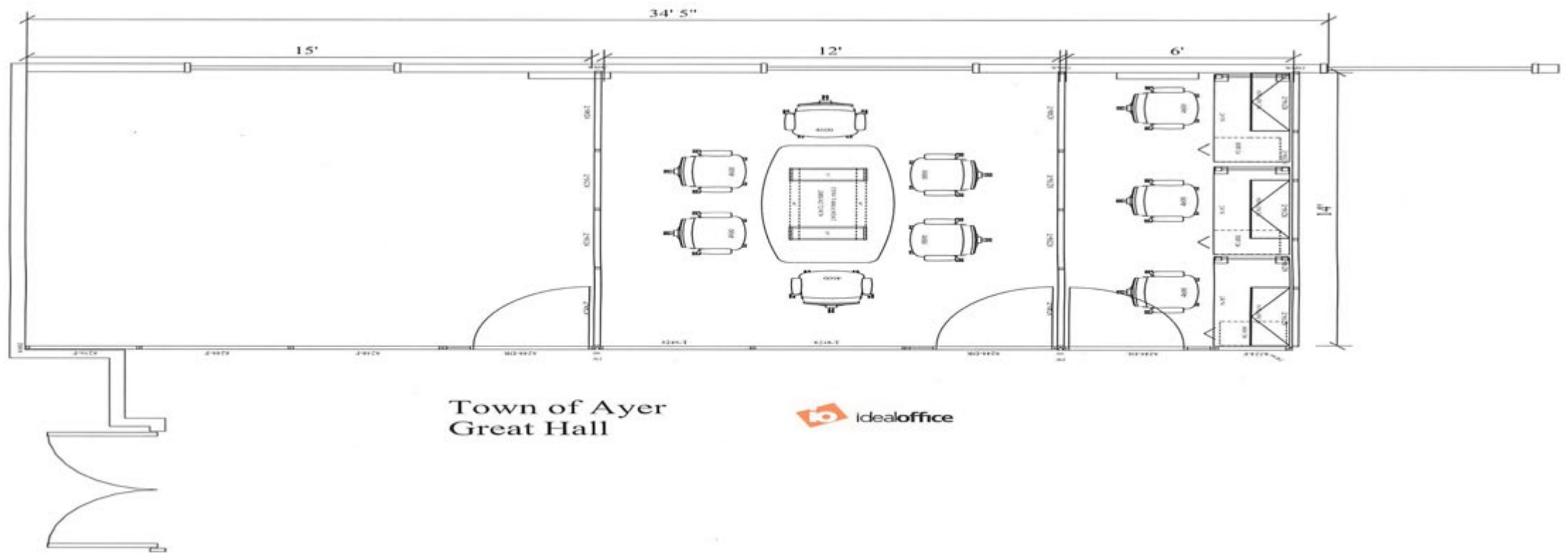
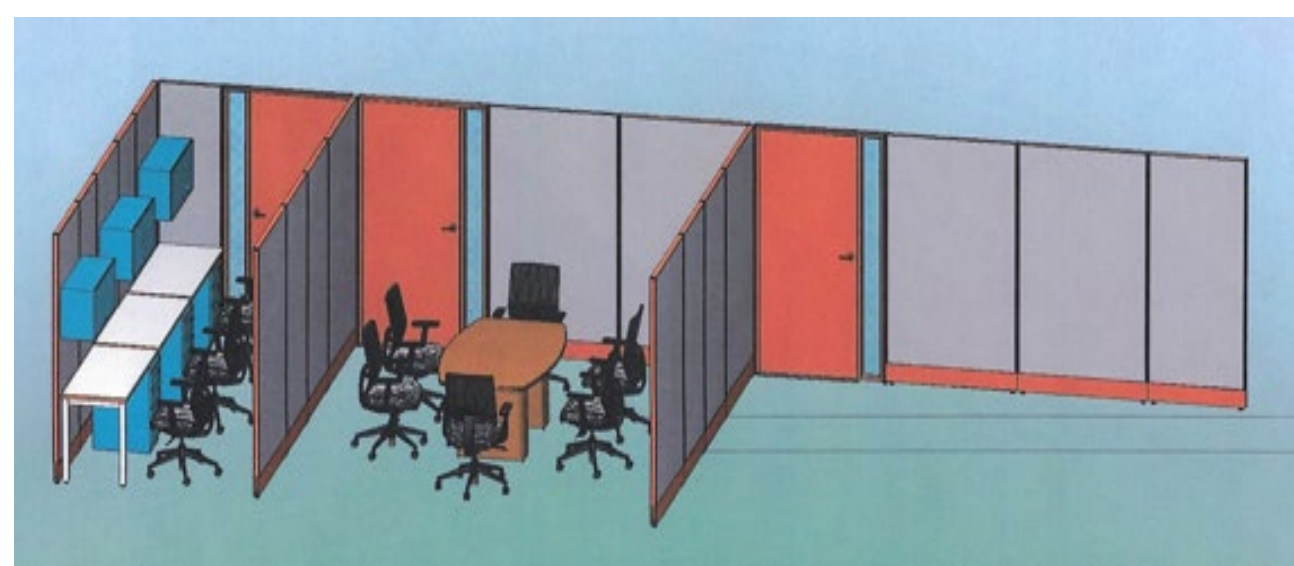
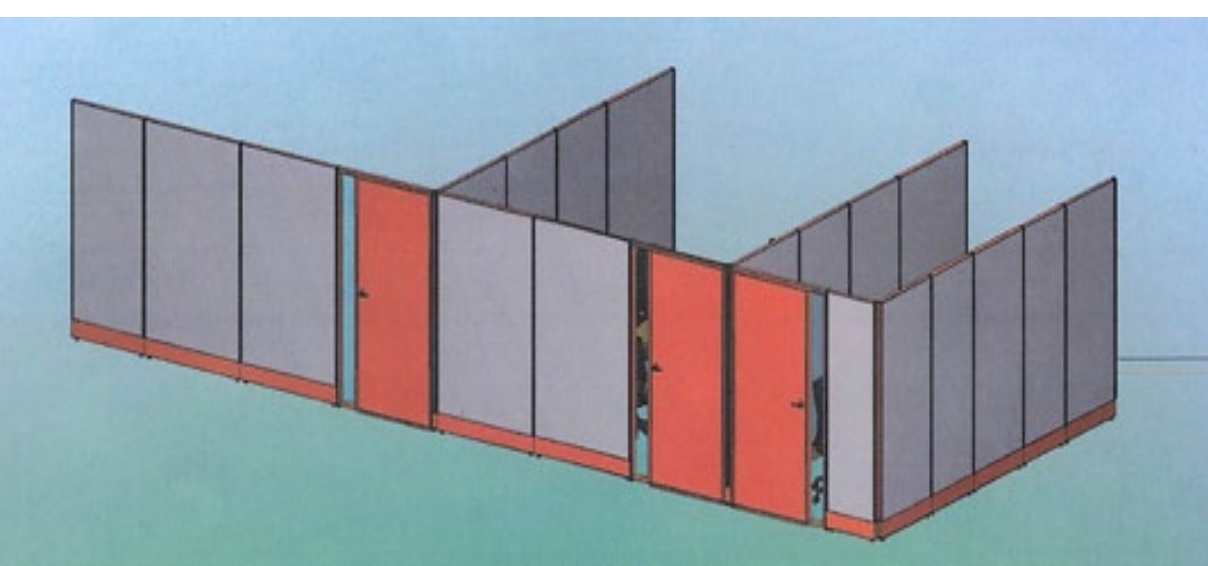
The Town Hall is in dire need of storage, office, and meeting space. The Facilities Department suggest a redesign of the current Great Hall cubicle space into three separate locked rooms using 8 FT acoustic panels. This would create locked storage, sound isolated meeting room, and three flex workstations.

- (1) Locked storage space will give the Town Hall a location to store election equipment, locked filing cabinets, and additional overflow
- (2) The 12 FT X 16 FT meeting room will include an eight-person meeting table, one to two rows of audience seating. Zoom room set-up including, camera, monitor, phone, CAT6 internet, 120v outlets
- (3) The last 6 FT X 16 FT of space will include three flex office stations to seamlessly connect a lab top to a fully functional workstation



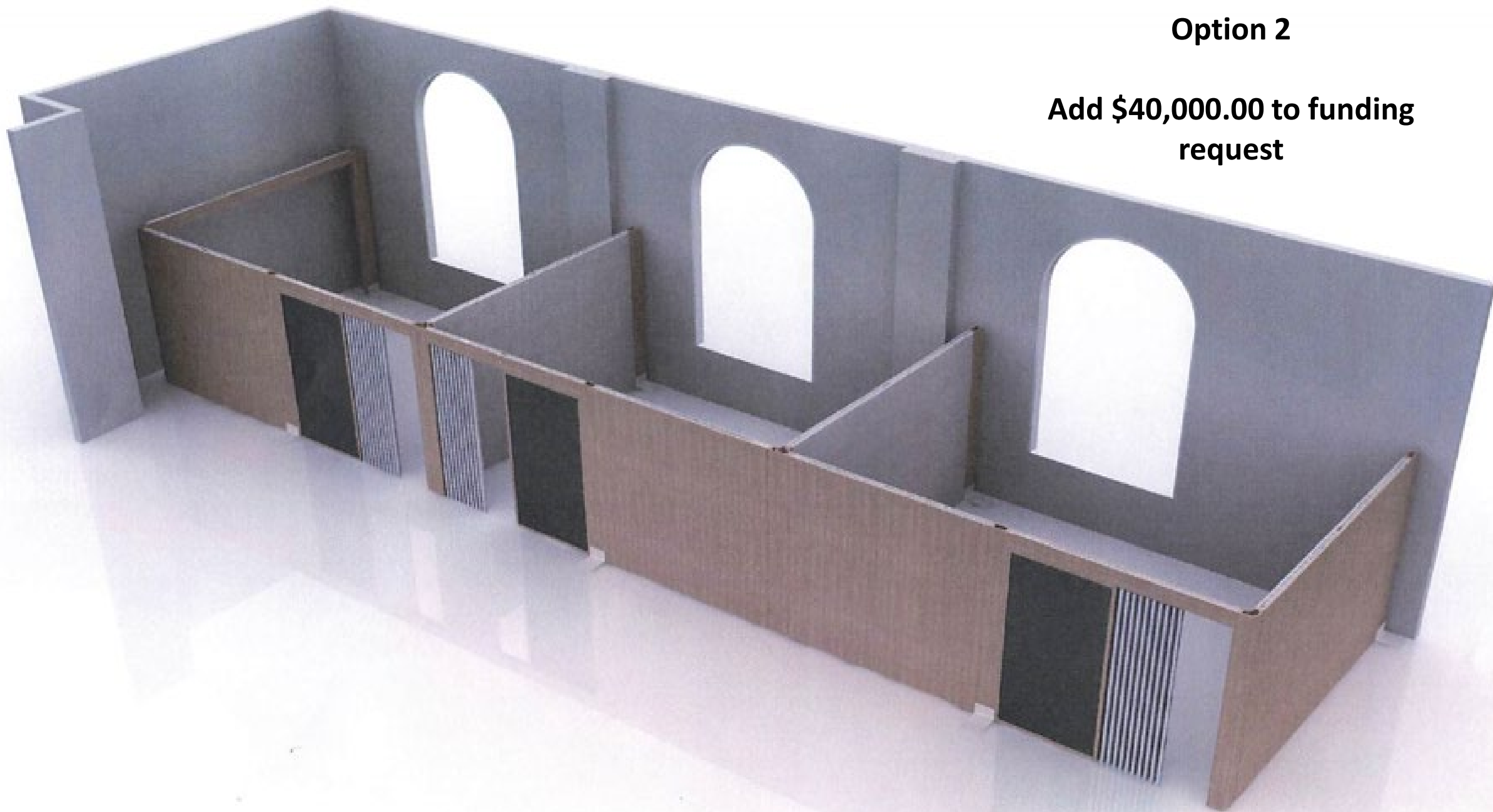
Option 1

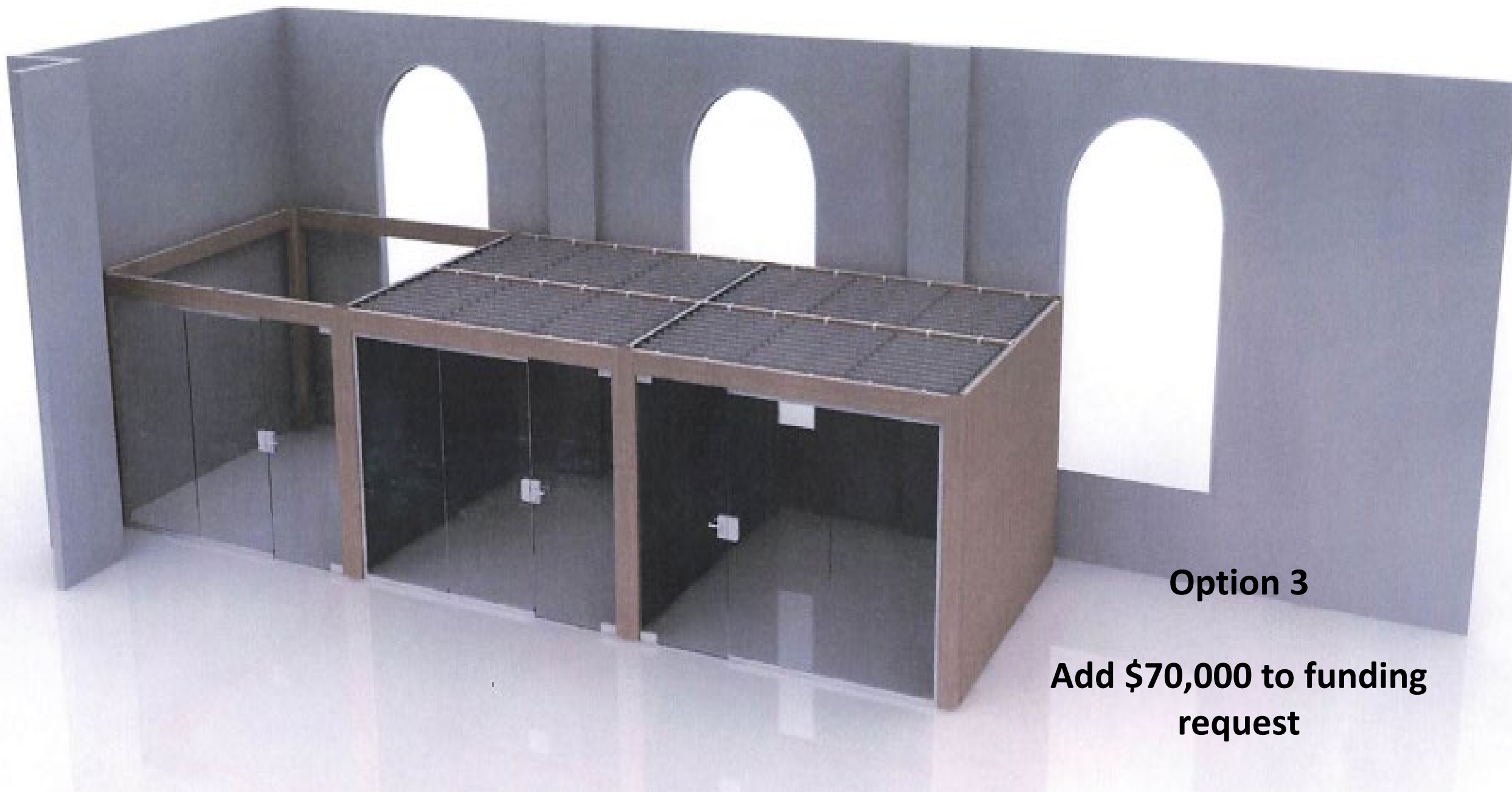
**Cost built into
funding request**



Option 2

**Add \$40,000.00 to funding
request**





Option 3

**Add \$70,000 to funding
request**

Funding Request / Cost Break Down

LINE	ITEM	sub- contractor	Quote #	QTY	LOCATION	UNIT COST	EXT COST	NOTES
1	Great Hall Configuration	Union Office / Ideal	2 QUOTES	1	Town Hall	\$35,000.00	\$35,000.00	Quotes from ideal and Union
2	Zoom equip. / Display / Work Stations	TBD	1 QUOTE	1	Town Hall	\$2,500.00	\$2,500.00	In-house
3	Electical / CAT 5 Wiring	Macgregor	92312	1	Town Hall	\$8,200.00	\$8,200.00	Quoted by Macgregor
4	Asst. Town Manager's Configuration	Union Office / Ideal	2 QUOTES	1	Town Hall	\$7,000.00	\$7,000.00	Quotes from ideal and Union
5	Printer / Mail Room	In-House	In-House	1	Town Hall	\$1,000.00	\$1,000.00	In-House work
6	Wall repairs	SS Painting	Verbal	1	Town Hall	\$10,000.00	\$10,000.00	Plastering and Painting Common Areas
7	Acoustics in the Great Hall Preperation	TBD	Verbal	1	Town Hall	\$5,000.00	\$5,000.00	Per Acoustic company
						Product Total	\$68,700.00	
						Sales Tax	\$-00	
						Freight	\$-00	
						Delivery and Installation	included	
			Project Total				\$68,700.00	

Procurement Status

1	Office Renovations	Quoted by Two companies picked off CommBuys	MGL 30B 10k - 50k
2	Electrical and CAT 6	High cost due to not running conduit in the Great Hall / Need to go down stairs then back up to panels	MGL 30B / 149A >10
3	Wall Repairs	Completed repairs to the gutters and slate roof now trying to start working on interior damage	MGL 30B / 149A >10
4	Acoustics in the Great Hall Preparation	Preparations to get the Great Hall sounds system and acoustics working properly	MGL 30B

End of Ayer Town Hall Office
Renovations / Repairs / Acoustics
FY24 Capital request

Questions on project?

Ayer Library FY24 HVAC and Roof Repair Request

HVAC

- This request is a continuation of the Libraries FY22 request of \$12,500. This request will fund replacing the aging UV-1 condenser in the Teen Room, repair a broken P-TAC, and continue repairs to the HW system
- This is a proactive effort to repair or replace the aging equipment before it becomes a complete heating or cooling emergency fund request

Roof

- This request is to complete roof repairs around the main furnace chimney and above the Adult Reading Room
- The Facilities Department will have a roof life span audit completed, while contract completes repairs
- Damage to the equipment in either area could create catastrophic results

Below is a breakdown of Heating and Cooling repairs made since original FY22 Capital request for \$12,500.00.

HVAC Repairs

Scope:

FY22

- (1) Replaced pump, motor, and all connections to the leaking hot water recirculating system (pump 2)
- (2) Repaired actuator and valve to Nutting Room
- (3) Fixed leaking hot water 2-inch pipes in three locations

Total Cost: \$15,000.00

Winter of FY22

- (1) Completed emergency repairs to AHU-1 due to a failed outside air dampers and leaking hot water coil
- (2) Worked on reheat coils due to failed AHU-1 to get the Library through the Winter

Total Cost: \$8,000.00

FY23

- (1) Completed repairs to AHU-1 including replacing the main hot water coil, freeze-stat, three-way valve, outside air damper actuator, and all damper blades
- (2) Repaired leaks in the café (three locations)
- (3) Replaced actuator and valves to the Reading Rm and Lobby base board heaters
- (4) Repaired back-office P-Tac
- (5) The three reheat coils are scheduled to be replaced on 11/7/22
- (6) UV-1 (teens room) failed actuator is scheduled to be looked at on 11/7/22

Total Cost to exceed: \$35,000.00

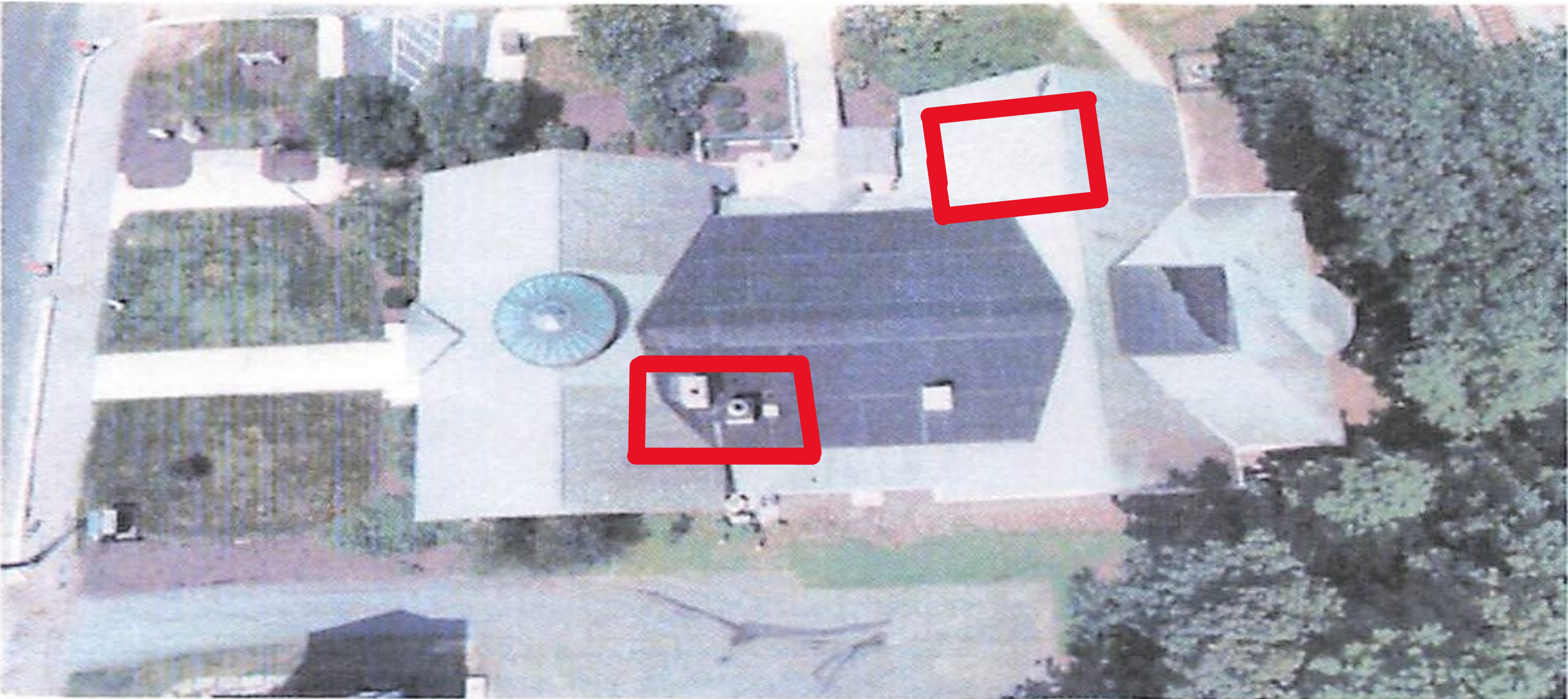
FY24 Proposed repairs

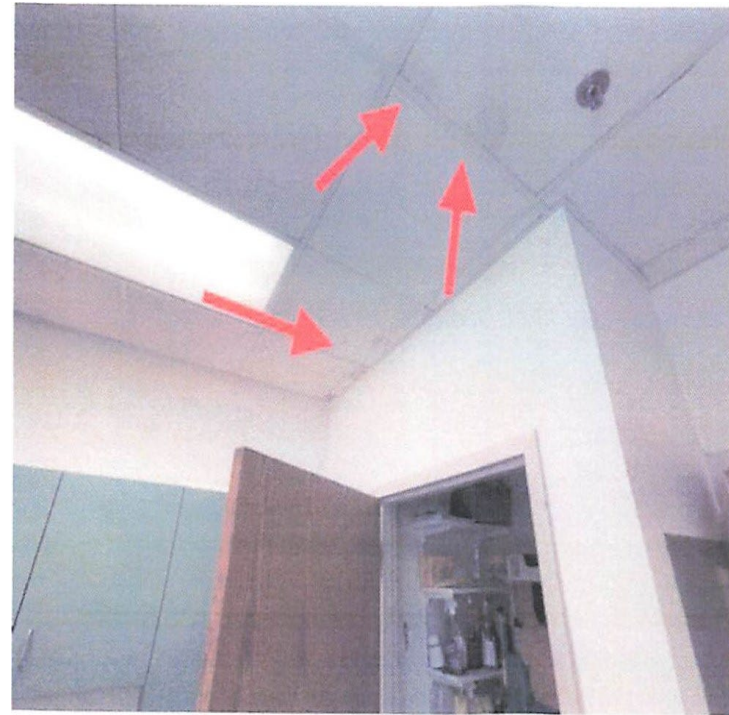
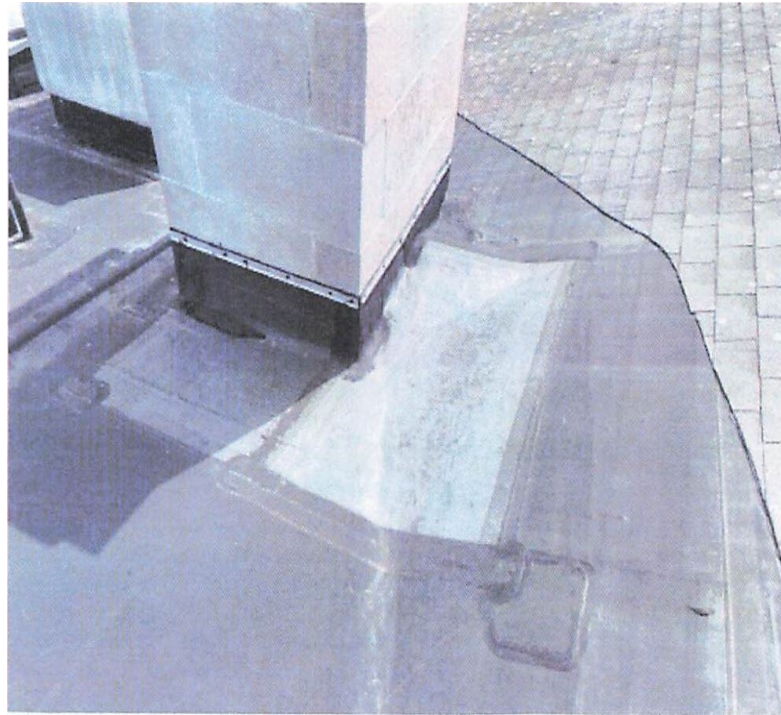
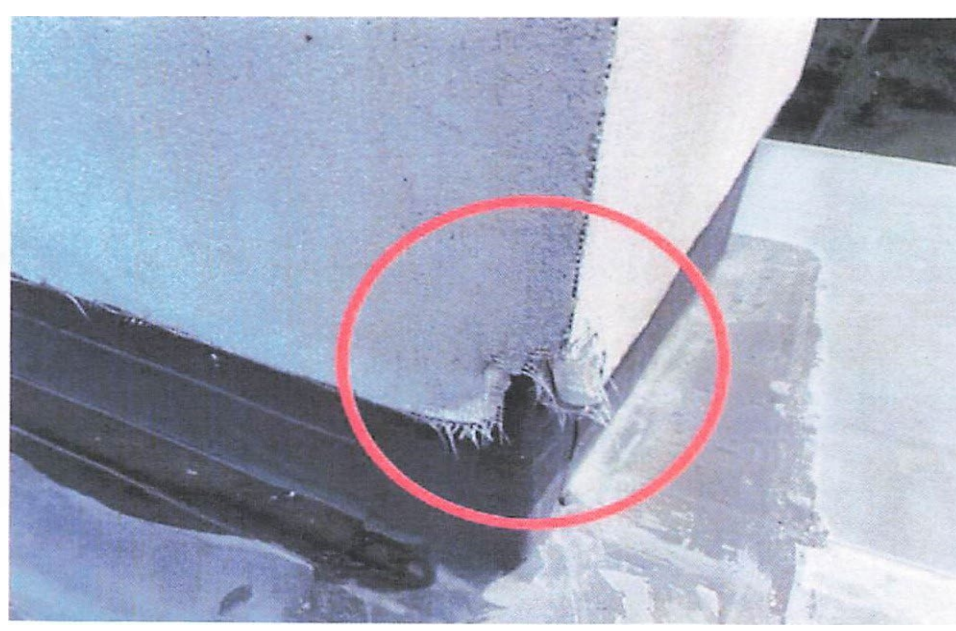
- (1) Replace failing condenser to UV-1
- (2) Continue repairs failing stand-a-lone P-Tac's
- (3) Complete any unforeseen repairs that will come about this Winter



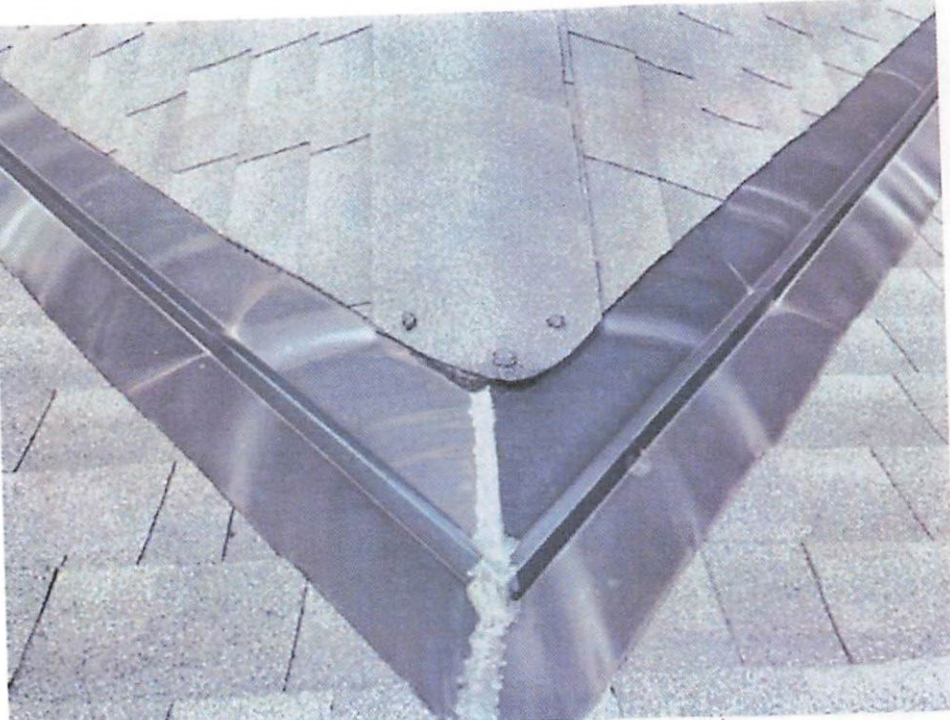
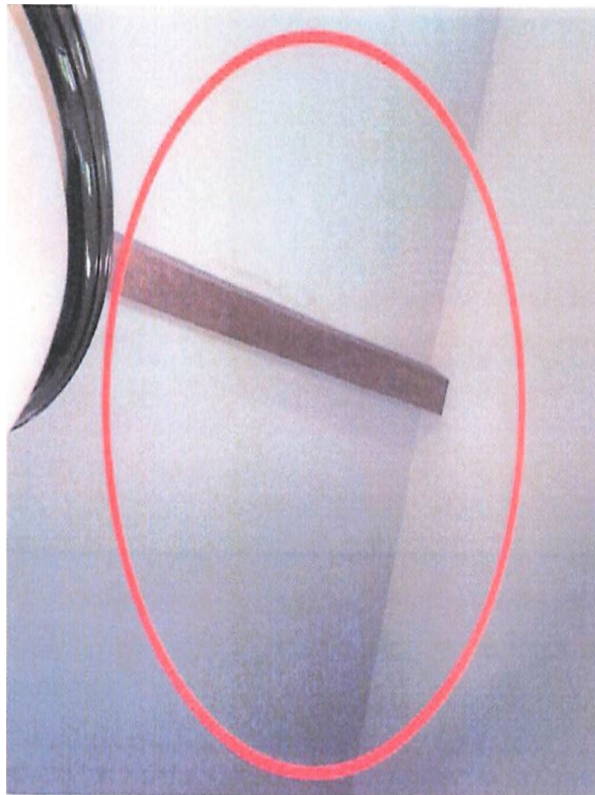
Roof Repairs

Areas of concern





Area of concern
above adult
reading room
area



End of Slides



Questions?